

Request for Zone Change and Special Permit Application/ Supporting Documentation

# **Sunrise of Newton**



#### **SUNRISE OF NEWTON – PROJECT TEAM**

#### **Applicant**

Sunrise Development, Inc. 7902 Westpark Drive McLean, VA 221102 703.273.7500

#### **Legal Counsel**

Schlesinger and Buchbinder, LLP 1200 Walnut Street Newton, MA 02461 617.965.3500

#### Landscape

LSG Landscape Architecture 1775 Greensboro Station Place Suite 110 Tysons, VA 22102 703.821.2045

#### **Architect**

JSA Inc. 273 Corporate Drive Suite 100 Portsmouth, NH 03801 603.436.2551

## Civil Engineer/Traffic Engineer/Survey

VHB
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

#### Geotechnical

GZA GeoEnvironmental, Inc. 249 Vanderbilt Avenue Norwood, MA 02062 781.278.3700

#### **PROJECT NARRATIVE**

Sunrise Development, Inc. (the "developer" or "Sunrise") is proposing to redevelop the site at the corner of Washington Street and Hovey Street in Newton Corner into a new elderly housing with services community which will incorporate 85 living units and 122 beds.

Sunrise has been in business for 35 years, and currently owns and/or manages 315 assisted living communities, 12 of which are in the Greater Boston area. It is currently the third largest senior living provider in the United States. Sunrise's approach to senior living is unique in that it caters to residents, as opposed to patients. That said, every resident has a dedicated care manager and each Sunrise community provides memory care services. Sunrise communities serve local needs as typically 70% of residents come from within five miles of a site. In terms of the elderly housing with services use, Newton is currently highly underserved.

#### Zone Change

The property consists of three lots. The first lot, 431 Washington Street, is located in a Business Use 2 zoning district and contains the existing Clay Nissan used car dealership. The remaining two lots, both located on Hovey Street, are located in a Multi-Residence 2 zoning district and contain an accessory parking lot for the used car business and open space. Sunrise is requesting a zone change for the two lots on Hovey Street from Multi-Residence 2 to Business Use 2.

The zone change in this case is appropriate as the existing lots are all owned in common ownership, and historically have been used to support a business use. From a practical perspective, it makes sense to have all three lots zoned uniformly for financing and other purposes.

#### **Special Permit**

A special permit is required for elderly housing with services pursuant to Sections 4.4.1 and 6.2.10.B of the Zoning Ordinance. In terms of dimensional standards, the applicant is seeking a special permit for: (1) a development of more than 20,000 square feet pursuant to Section 4.1.2.B.1; (2) a four-story building pursuant to Sections 4.1.2.B.3 and 4.1.3 (and the associated building height of up to 48' and floor area ratio of up to 2.0); (3) a retaining wall of greater than 4' located in a setback pursuant to Section 5.4.2.B and (4) a nonconforming front setback pursuant to Section 7.8.2.C.2.

#### Community Outreach

There has been significant community outreach to date with respect to this project. Two community meetings, organized under the auspices of the Ward 1 City Councilors, have been held at The West Suburban YMCA, the first on January 26, 2017, and the second on March 1, 2017. The first community meeting was attended by approximately forty individuals, and the second by approximately thirty-five individuals. Generally, the feedback has been positive.

#### **Design**

Sunrise is proposing a four story, masonry-clad building for the site. The building has been designed to complement the character of the immediate neighborhood. The design also incorporates substantial landscaping improvements and additional open space that will soften the existing streetscape and provide a more pedestrian-friendly environment. Two "pocket parks" which will be open to the public are proposed.

Based largely upon feedback from the community, the design has been modified in an attempt to break up the massing on Hovey Street, reduce the overall building size, and provide additional open space surrounding the building. In connection with the foregoing, the number of proposed living units has been decreased from 100 to 85. The reduced footprint and reorientation of the three outdoor parking stalls have also allowed the creation of a larger "pocket park" at the front of the site.

#### **Parking**

In terms of parking, the proposed project will provide 46 parking stalls on site. Section 5.1.4.A of the Zoning Ordinance provides that for an elderly housing with services facility, the parking requirement is 1 parking stall per every 2 dwelling units, 1 parking stall per every 4 nursing beds, and 1 parking stall per every 3 employees.

The proposed community will not have <u>dwelling</u> units as the same is defined under the Zoning Ordinance. Section 1.5.1.E defines "dwelling unit" as "one or more rooms forming a habitable unit for one family, with facilities used or intended to be used, in whole or in part, for living, sleeping, cooking, eating and sanitation." As the proposed units lack cooking facilities, they do not meet the definition of dwelling unit. Additionally, the proposed facility will not provide <u>nursing</u> beds as the facility will not provide skilled nursing care.

The Planning Department and the Chief Zoning Code Official have determined that basing the parking calculation on the number of beds and employees makes the most sense. Under this calculation, 40 parking stalls would be required. Since 46 parking stalls will be provided, the proposed facility does not require any parking waivers.

#### **Traffic**

The proposed elderly housing with services community is expected to result in a significant decrease in vehicle trips to the site. Additionally, Sunrise is committed to implementing Transportation Demand Management (TDM) measures on-site and providing signal improvements at the intersection of Washington Street at Church Street to include the entrance to the site.

#### Fiscal Impact

The proposed community is anticipated to have a positive fiscal impact for the City. Current projections anticipate an increase of approximately \$240,000 in annual property taxes to the City. The proposed community is also anticipated to generate 100-150 jobs during construction and 60-70 full-time equivalent jobs once the project is completed. There will be no impact on schools. Sunrise also contemplates making a substantial payment to the City in accordance with the inclusionary zoning ordinance (Section 5.11.11).

RECEIVED
TO THE NEWTON CITY COUNCIDATION CITY Clerk
The undersigned hereby makes application for a permit to erect and use, to alter and use, or to make such uses as may be hereinafter specified of a building application and for the purpose hereinafter specified under the provisions of Chapter 30 of the Revised Ordinances, 2015, as amended, or any other sections..

PLEASE REFEREN( 4.1.2.B.1.; 4.1.2.B.3.; 4	JE SECTION(O)-O	ATHE ORDINAN	CES FROM V	WHICH RELIE	F IS REQUES	STED:
4.1.2.B.1.; 4.1.2.B.3.; 4	.1.3; 4.4.1.; 5.F.13;	5.4.2.B.; 5.11.11.; 6.	<u>2.10.; 6.2.10.B</u>	.; 7.8.2.C.2; 7.	3; 7.4	
PETITION FOR:	☐ Extens	l Permit/Site Plan ion of Non-Conford an Approval		or Structure		
STREET 431 V	Washington Street, 2	9 Hovey Street, and	unnumbered lo	t <u>on Hovey S</u> t	<u>eet</u> V	VARD1
SECTION(S)	12	_BLOCK(S)(	006 LOT(8	S)00	3, 004, and 00	5
APPROXIMATE SQL	JARE FOOTAGE (	of property <u>) appro</u>	ximately 66,9	09 square fee	et_ZONEDE	3U-2 and MR-2
TO BE USED FOR:	elderly housing	with services				
CONSTRUCTION: m	asonry building with	n steel frame constru	ction			
EXPLANATORY REI	MARKS: <u>Special</u>	permit sought for: (	1) <u>elderly h</u> ous	ing with service	es pursuant to S	ections 4.4.1. and
6.2.10.B.; 2) developm	ent of more than 20,	000 square feet purs	nant to Section	4.1.2.B.1.; (3)	four stories (an	d associated building
height not to exceed 48	feet and FAR not to	exceed 2.0) pursua	nt to Sections	1.1.2.B.3. and	4.1.3.; (4) a reta	ining wall of greater th
4' located in a setback	pursuant to Section :	5.4.2.B.; and (5) exte	nsion of a non	conforming str	ucture as to fror	t setback pursuant to
Sections 4.1.3 and 7.8.2	<u>2.C.2.</u>					
The undersigned agr the City Council in co			f the Zoning (	Ordinance an	d rules of the L	and Use Committee.
PETITIONER (PRINT	آ) <u>Sunrise Develo</u>	pment, Inc. 14	ITS ATTOR	vey July	ANTH 81260	<u> </u>
SIGNATURE	Stephen f. Bu	hoinde				
ADDRESS <u>7902</u>	. Westpark Drive, I	<mark>//CLean, Virginia</mark> 2	2102			
TELEPHONE	N/A	E-MAIL_		N/A		
ATTORNEY Stepher	ı J. Buchbinder, Es	squire				
ADDRESS 1200 Wa		n Maccachusotte	02461-1267			
TELEPHONE 617-9	Inut Street, Newto	II, Massacijuselis	02-101 1201			
			E-MAIL	sjbuchbinde	er@sab-law.co	m
				sjbuchbinde	er@sab-law.co	m
PROPERTY OWNER	65-3500	[		sjbuchbinde	er@sab-law.co	m
	65-3500	n Street, LLC	E-MAIL			m
	65-3500  R 431 Washingto  Providence Highwa  N/A	on Street, LLC ay, Norwood, MA (	E-MAIL 02062 E-MAIL	N/,		m



#### City of Newton, Massachusetts

Telephone (617) 796-1120

Department of Planning and Development RECEIVED Telefax Newton City (612) 796-1086 1000 Commonwealth Avenue, Newton, Massachusetts 02459

2017 MAR - 3 PM 12:n56Freas

Setti D. Warren Mayor

#### GENERAL PERMIT APPLICATION

Acting Director David A. Olson, @MC

Mayor Zonung Digapia	TTP-DII O and MO O	DAYEYEER MED 02459
PROJECT #:ZONING DISTRIC		DATE RECEIVEDS
PROJECT DESCRIPTION: elderly housing with services		
PROPERTY LOCATION INFORMATION	gint ( ) street to be a consideration	
STREET ADDRESS: 431 Washington Street, 29 Hovey Street, a	and unnumbered lot on	Hovey Street
CITY/ZIP: Newton/02458		
LEGAL DESCRIPTION (SECTION, BLOCK, LOT): Se		
PROPERTY OWNER INFORMATION		
NAME: 431 Washington Street, LLC	PHONE: <u>N/A</u> _	ALT. PHONE:_N/A
MAILING ADDRESS: 391 Providence Highway, Norwood, M	MA 02062 E-MAI	L ADDRESS: N/A
PROPERTY OWNER CONSENT		
I am (we are) the owner(s) of the property subject to this application and		
1 This application for a land use permit or administrative approval for o	development on my (our) i	property is made with my permission
2. I (we) grant permission for officials and employees of the City of New	wton to access my propert	y for the purposes of this application.
Herhand Buckbinder, MTRANEY	f=" (C	3-2-17
X / Herhand. Burkbeinle, MTRNEY.  (Property Owner Signature)	<u> </u>	(Date)
(Property Owner Signature)		(Date)
(Property Owner Signature)		(Duito)
NOTICE: The City of Newton staff may need access to the subject prop	erty during regular busine	ess hours and will attempt to contact the applicant/age
prior to any visit. Further, members of a regulatory authority of the city	may visit the property as	well.
APPLICANT/AGENT/INFORMATION		
NAME: Stephen J. Buchbinder, Esquire PHONE:		
MAILING ADDRESS: 1200 Walnut Street, Newton, MA 0246		
WAILING ADDRESS: 1200 Wallit Street, Newton, WA 0240	D-107	7-1-17
X Stephen . Buchbirde (Application/Agent Signature)	(Date)	3-2-17
·		
NOTICE: The applicant/agent is the primary contact and may be any in must also be legally authorized to make decisions on behalf of the Prope	dividual representing the e	establishment or property owner. The applicant/agen
OFFICE USE ON	LY BELOW THIS LIN	E
CHECK APPROPRIATE PERMIT OR REV	IEW PROCESS (CHEC	K ALL BEING SUBMITTED)
Zoning Review Application	Comprehensiv Variance App	
Administrative Site Plan Review Sign Permit		rvation Review
Special Permit/Site Plan Approval		Commission Review
Fence Appeal	Other, describ	oe
		PERMIT INTAKE INITIALS
Comments:		AND DATE STAMP
		_ 
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### **GENERAL PERMIT APPLICATION INSTRUCTIONS**

#### LAND USE PERMITTING CHECKLIST (City staff, check all that apply)

In most instances, any development or land disturbance activity within the City of Newton will require some type of review and approval from the Planning Department and one of the City's regulatory authorities. In all cases, this General Permit Application must accompany all land use permitting applications. A checklist of permit forms, by regulatory authority, is provided below:

provided below.	•
Administrative	<u>Land Use Committee</u>
☐ Administrative Site Plan	☐ Amendment to Special Permit/Site Plan
☐ Review of Accessory Apartment	☐ Extension of Nonconforming Use or Building
☐ Wireless Facility	☐ Site Plan Only
	☐ Special Permit/Site Plan
Conservation Commission	Urban Design Commission
☐ Request for Determination of Applicability	☐ Fence Appeal
□ Notice of Intent	☐ Sign Permit
☐ Abbreviated Notice of Resource Area	
Delineation	Zoning Board of Appeals
	☐ Appeals of the ISD Commissioner
Historic Commission(s)	☐ Comprehensive Permit
☐ Demolition Delay	☐ Variance Application
☐ Historic District	
☐ Landmark/Preservation Restriction	
NOTE: The Planning Department has many handouts that prabove. Petitioners should also be aware that approvals fron	rovide useful information regarding each of the permitting processes nother City or State agencies may be necessary as well.

APPLICATION COMPONENTS

For each permit application, the submission of inaccurate information or an incomplete application may delay the review and approval process for said permit. The items needed for a complete application will vary by permitting process, but generally include:

**FORMS:** A completed General Application and the project-specific permit application form. The signature of the Property Owner (or the Owner's legal representative) and the Applicant/Agent are <u>mandatory</u> on the General Permit Application.

**FEES:** To process any land use permit application, it must be submitted with the appropriate fee. The permit fee will vary by permitting process. All fees are subject to change, please contact the Department of Planning to verify the current fee.

**SUBMITTALS:** Each permit should also be accompanied by the necessary supporting documentation. The items needed to explain a project may vary, please refer to the permit application for the typical documents submitted for each permit application or contact a city planner. All applications should be submitted in hard and digital formats.

#### SUBMITTING THE APPLICATION

Bring the complete application to the Planning Department (at Inspectional Services customer service counter), on the second floor of City Hall at 1000 Commonwealth Avenue. A planner will review the application, answer any questions you may have and explain the next step of the permitting process.

If you have questions about an application or application process, please call the Department of Planning at (617) 796-1120 or visit the Planning Department, Monday-Friday: 8:30 a.m. to 5:00 p.m., and Tuesday 8:30 a.m. to 8:00 p.m. <u>I</u>

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.



#### 1200 WALNUT STREET NEWTON, MASSACHUSETTS 02461-1267

STEPHEN J. BUCHBINDER
ALAN J. SCHLESINGER
LEONARD M. DAVIDSON
A. MIRIAM JAFFE
SHERMAN H. STARR, JR.
JUDITH L. MELIDEO-PREBLE
BARBARA D. DALLIS
PAUL N. BELL
KATHERINE BRAUCHER ADAMS
FRANKLIN J. SCHWARZER
RACHAEL C. CARVER

TELEPHONE (617) 965-3500 FACSIMILE (617) 965-6824 OF COUNSEL ROBIN GORENBERG

E-Mail: sjbuchbinder@sab-law.com

March 3, 2017

#### BY HAND

Ms. Nadia Khan Clerk, Land Use Committee Newton City Council 1000 Commonwealth Avenue Newton, MA 02459-1449

Re:

Petition of Sunrise Development, Inc./431 Washington Street, 29 Hovey Street, and Unnumbered Lot on Hovey Street

Dear Nadia,

In connection with the petitioner's request for a change of zone for the two Hovey Street parcels from Multi-Residence 2 to Business Use 2, as noted in my letter to you of even date herewith, I am enclosing a plan entitled "Zone Change Plan" dated March 3, 2017 by VHB, Inc. together with a legal description of the delineated area.

Please feel free to call me if you have any questions respecting the foregoing.

Sincerely,

Stephen J. Buchbinder

SJB/mer enclosures

cc: (By Hand, w/enclosures)
Ms. Alexandra Ananth, Chief Planner
Ouida C. M. Young, Esquire, Associate City Solicitor
(By First Class Mail, w/enclosures)
Mr. Philip Kroskin





March 3, 2017 Ref: 13677.00

#### **LEGAL DESCRIPTION - PROPOSED BU2 ZONE**

A CERTAIN PARCEL OF LAND, COMPRISED OF TWO LOTS, LOCATED NORTH OF WASHINGTON STREET AND WEST OF HOVEY STREET IN THE CITY OF NEWTON, IN THE COUNTY OF MIDDLESEX AND THE COMMONWEALTH OF MASSACHUSETTS BEING SHOWN AS "PROPOSED BUZ ZONE" ON A PLAN ENTITLED "ZONE CHANGE PLAN", DRAWING C-3, DATED MARCH 3, 2017, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY SIDE OF HOVEY STREET, SAID POINT BEING N 21°00'54"W AND A DISTANCE OF ONE HUNDRED AND TWENTY-SIX AND NO HUNDREDTHS FEET (126.00') FROM A BOUND AT THE NORTHWESTERLY INTERSECTION OF HOVEY AND WASHINGTON STREETS BEING THE SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE

	•
S 69°15'05" W	A DISTANCE OF SEVENTY-THREE AND FORTY HUNDREDTHS FEET (73.40') TO A POINT; THENCE
S 69°07'43" W	A DISTANCE OF ONE HUNDRED FORTY-FIVE AND NO HUNDREDTHS FEET (145.00') TO A POINT; THENCE
N 20°20'22" W	A DISTANCE OF FORTY-FIVE AND FIFTY HUNDREDTHS FEET (45.50') TO A POINT; THENCE
N 18°34'11" E	A DISTANCE OF SIXTY-ONE AND FORTY-SEVEN HUNDREDTHS FEET (61.47") TO A POINT; THENCE
N 21°09'23" E	A DISTANCE OF TWO AND FORTY-ONE HUNDREDTHS FEET (2.41') AND ON THE SAME BEARING A DISTANCE OF THIRTY-SIX AND EIGHT HUNDREDTHS FEET (36.08') TO A POINT; THENCE
N 21°31'11" E	A DISTANCE OF ONE HUNDRED SIXTEEN AND EIGHTY-EIGHT HUNDREDTHS FEET (116.88') TO A POINT; THENCE
N 28°57'55" E	A DISTANCE OF TWELVE AND SEVENTY HUNDREDTHS FEET (12.70') TO A POINT; THENCE
N 71°07'46" E	A DISTANCE OF SIXTY-FOUR AND FIFTEEN HUNDREDTHS FEET (64.15') TO A POINT; THENCE
S 21°00'54" E	A DISTANCE OF ONE HUNDRED THIRTY-ONE AND NO HUNDREDTHS FEET (131.00') AND ON THE SAME BEARING A DISTANCE OF EIGHTY-THREE AND NO HUNDREDTHS FEET (83.00') BY THE WESTERLY SIDELINE OF HOVEY STREET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 34,361 SQUARE FEET OR 0.789 ACRES MORE OR LESS.

RUSSELL J. BOLISQUET NO. 35389

CAUSEIS AND STERRED ST

Engineers | Scientists | Planners | Designers

101 Walnut Street

PO Box 9151

Watertown, Massachusetts 02471

P 617,924.1770

F 617.924.2286

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### City of Newton, Massachusetts

Department of Planning and Development 1000 Commonwealth Avenue Newton, Massachusetts 02459 Telephone (617) 796-1120 Telefax (617) 796-1142 TDD/TTY (617) 796-1089 www.newtonma.gov

Barney S. Heath Director

#### ZONING REVIEW MEMORANDUM

Date: February 27, 2017

To: John Lojek, Commissioner of Inspectional Services

From: Jane Santosuosso, Chief Zoning Code Official

Alexandra Ananth, Chief Planner for Current Planning

Cc: Stephen J. Buchbinder, attorney

431 Washington Street, LLC

Barney S. Heath, Director of Planning and Development

Ouida Young, Associate City Solicitor

RE: Request for a zone change from MR2 to BU2, and a special permit to construct elderly housing with services and for associated dimensional waivers

Applicant: 431 Washington Street LLC				
Site: 431 Washington Street, 29 Hovey Street, 0	<b>SBL</b> : 12006 0005, 12006 0004, 12006 0003			
Hovey Street				
Zoning: BU2 and MR2	Lot Area: 66,909 square feet			
Current use: Car dealership and parking	<b>Proposed use:</b> Elderly housing with services facility			

#### **BACKGROUND:**

The subject site is comprised of three lots with a total area of 66,909 square feet. 431 Washington Street is at the corner of Washington and Hovey streets and is improved with an existing structure, used as a car dealership, which is nonconforming with regard to both front setbacks. The lot at 29 Hovey Street is used for accessory parking for the car dealership, and the remaining lot on Hovey Street is unimproved. The lot on Washington Street is zoned Business 2, while the two lots on Hovey Street are zoned Multi Residence 2.

The applicant proposes a zone change for the MR2 properties to make one large property zoned BU2. The intent is to raze the existing car dealership structure and construct a new elderly housing with services facility containing 85 living units with 122 beds in a four-story building of approximately 71,383 square feet. The proposed project will provide a total of 46 parking stalls on site.

The following review is based on plans and materials submitted to date as noted below.

- Zoning Review Application, prepared by Stephen J. Buchbinder, attorney, dated 1/4/2017
- Project Information, submitted 1/4/2017, revised 2/8/2017
- Notice of Variance, dated November 1961
- Zoning Review Plan Set, prepared by VHB, dated 1/3/2017, revised 2/22/2017
  - o Area Plan
  - o Zoning Assessment Plan, revised 2/6/2017
  - o Existing Conditions Plan of Land, dated 10/12/2016
  - o Basement/First Floor, dated 12/28/2016, revised 2/6/2017
  - o Second/Third Floor, dated 12/28/2016, revised 2/6/2017
  - o Exterior Elevations, dated 12/28/2016, revised 2/6/2017

#### **ADMINISTRATIVE DETERMINATIONS:**

1. The site is comprised of three properties. The property along Washington Street is zoned BU2, while the two lots on Hovey Street are zoned MR2. The applicant requests to rezone both Hovey Street properties to BU2.

The administrative determinations and relief requested by this application assume that the entire site is zoned BU2.

- 2. The applicant proposes to raze the existing building and construct a four-story building of approximately 71,383 square feet. Section 4.1.2.B.1 requires a special permit for any development in a Business district of 20,000 square feet or more of new gross floor area. The proposed construction approximately doubles the gross floor area from what currently exists.
- 3. The applicant proposes to construct a four-story structure at 47.4 feet in height. Section 4.1.2.B.3 requires a special permit for four stories or more in the Business 2 zoning district. The dimensional table found in 4.1.3 ties the maximum height and maximum FAR to the number of stories. A special permit allowing four stories legitimizes the proposed height and FAR.
- 4. The existing structure fronts both Washington Street and Hovey Street with a front setback of 0 feet on both streets. At the time the structure was constructed, there were no front setback requirements for buildings in Business zones. Section 4.1.3 requires a front setback established by averaging the existing front setbacks of the properties on either side of the property in question.

The existing front setback for the property at 405-409 Washington Street (Walgreens) is 0 feet, and is located in the BU2 zoning district. The other abutting property at 437 Washington Street is a pork chop lot with only five feet of frontage and a structure that is situated approximately 100 feet from the street behind the structure at 439 Washington Street. Given that the intent of the averaging provision to maintain a consistent streetscape, the Commissioner of Inspectional Services determined that the structure at 439 Washington Street, with a front setback of 7.3 feet, is to be used to determine the required setback the proposed building at 431 Washington Street. Averaging the abutting lots to 431 Washington Street produces a front setback requirement of 3.65 feet from Washington Street. The proposed front setback from Washington Street is 9.5 feet.

The existing structure has a 0 foot existing nonconforming front setback from Hovey Street. The abutting lot at 29 Hovey Street is vacant. Section 4.1.3 provides that in a Business district, a vacant

lot or a lot where a building is set back more than 10 feet is counted as though occupied by a building set back 10 feet. Presuming the lots on Hovey Street are rezoned to BU2, a 10 foot setback is used for this parcel. There is no abutting property to the other side of 431 Washington Street along Hovey, as it is a corner lot on Washington with the MA Pike across the street. Thus, a 10 foot setback is used for the other side as well, creating a 10 foot setback requirement for the proposed building along Hovey Street. The applicant proposes a front setback from Hovey Street of 5.6 feet, where 10 feet is required and no front setback exists with the current structure. To extend the nonconforming front setback along Hovey Street, a special permit is required per Section 7.8.2.C.2.

- 5. The applicant proposes to construct an elderly housing with services facility. Per section 6.2.10, an elderly housing with services facility is defined as "elderly housing with services, including residential care facilities, assisted living facilities and congregate care facilities." Section 4.4.1 requires a special permit for elderly housing with services in the BU2 zoning district.
- 6. A retaining wall varying in heights up to approximately 12 feet is proposed within approximately 5 feet the western boundary line of the property to accommodate the entrance to the below grade parking. Per section 5.4.2.B, a special permit is required for a retaining wall in excess of 4 feet in a setback.
- 7. The facility will contain 85 living units with 122 beds. Each living unit will contain sleeping and sanitary facilities, but no separate individual cooking facilities. Per Section 1.5.1.E, a dwelling unit is defined as "one or more rooms forming a habitable unit for one family, with facilities used or intended to be used, in whole or in part, for living, sleeping, cooking, eating and sanitation." As the units will lack cooking facilities, they do not meet the definition of a dwelling unit.
- 8. The applicant proposes to construct 46 parking stalls on site, with 43 located in the proposed underground garage and three surface stalls. Per Section 5.1.4.A, an elderly housing with services facility requires one parking stall per every two dwelling units, one per every four nursing beds, plus one stall per three employees. As stated, the proposed facility will not have "dwelling units" as defined by the Ordinance, as each unit will not provide independent cooking facilities. Nor will the units provide nursing beds, as the facility will not provide skilled nursing care. However, for the purposes of determining the parking requirement, the number of beds and employees will be used, as there are no dwelling units. The parking requirement for 122 beds and 25 employees at the busiest shift is 40 stalls. As 46 stalls are provided, no waiver from the number of parking stalls is required.
- 9. Section 5.11.11 requires that Elder Housing with Services meet certain requirements of the Inclusionary Housing provisions. This contribution may be residential units or beds, or a cash payment.

BU2 Zone	Required	Existing	Proposed
Lot Size	10,000 square feet	66,909 square feet	No change
Frontage	80 feet	575 feet	No change
Setbacks			
<ul> <li>Front (Washington St)</li> </ul>	3.65 feet	0 feet	9.5 feet
<ul> <li>Front (Hovey St)</li> </ul>	10 feet	0 feet	5.6 feet
• Side	24 feet	+/- 0 feet	31.2 feet
• Rear	24 feet	+/- 0 feet	30.6 feet
Total Gross Floor Area			71,383 square feet
Building Height	48 feet		47.4 feet
Max Number of Stories	4		4
FAR	2.0		1.07

Zoning Relief Required				
Ordinance	Ordinance Required Relief			
	Request to rezone parcels to BU2			
§4.4.1 §6.2.10	To allow an Elder Housing with Services facility	S.P. per §7.3.3		
§4.1.2.B.1	Development of 20,000+ square feet of gross floor area	S.P. per §7.3.3		
§4.1.2.B.3 §4.1.3	To allow a building with four stories	S.P. per §7.3.3		
§4.1.3, §7.8.2.C.2	To extend a nonconforming front setback	S.P. per §7.3.3		
§5.4.2.B	To allow a retaining wall in excess of 4 feet in a setback	S.P. per §7.3.3		
§5.11.11	Inclusionary housing provisions	S.P. per §7.3.3		

#### **PARKING CALCULATION**

1 parking stall per every 4 beds plus 1 parking stall per every 3 employees

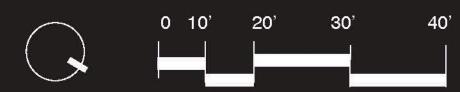
-Total number of Beds: 122 -Total number of Employees: 25

(122 beds / 4) + (25 employees / 3) = 31 + 9 = 40 parking stalls

Since 46 parking stalls (3 outside and 43 in the proposed underground garage) will be provided, the proposed facility will have sufficient parking.

# Master Plan

- A URBAN POCKET PARK
- B SCREEN WALL 6'
- C FOCAL POINT
- D RAMP TO GARAGE
- € FENCE 6'
- F PLANTER WALL
- G PLANTER
- ⊕ DROP OFF
- 1 FLAG
- J BRICK PIER WITH MAIN SIGN
- **(K)** COVERED PORCH
- FENCE 3'
- M PRIVATE SEATING
- N EXISTING WOODED AREA
- O GAZEBO
- P BERM
- NATURAL PLAY JUMPING LOGS, BALANCE BEAM, CLIMBING NET, AND SLIDE
- R LABYRINTH
- S GATE CLOSED AFTER DARK
- TRASH ENCLOSURE
- U TRANSFORMER











# Precedent Design Images













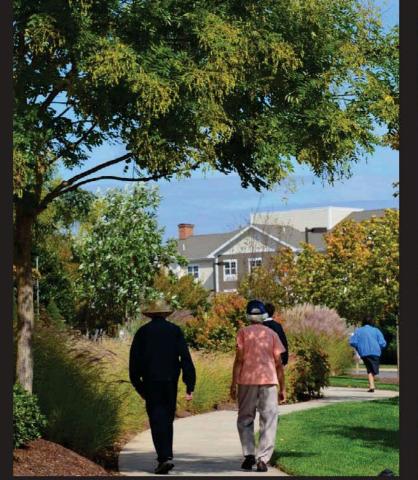






























JSA

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273 CORPORATE DRIVE PORTSMOUTH, NH 03801 T 603.436.2551 F 603.436.6973 www.jsginc.com

TRASH ENCL

56' - 0"

A2.01

23' - 9"

30' - 0"

LANDSCAPE ARCHITECT
LSG LANDSCAPE ARCHITECTURE
1775 GREENSBORO STATION PL
TYSONS, VA 22102

STRUCTURAL ENGINEER
JSN ASSOCIATES, INC.
1 AUTUMN STREET

ELECTRICAL ENGINEER
DIIORIO ENGINEERING, INC.
89 ACCESS RD. SUITE 18

NORWOOD, MA

MP / FIRE PROTECTION

MP / FIRE PROTECTION ENGINEERED SYSTEMS, INC. 237 LEXINGTON ST. SUITE 207 WOBURN, MA

FOOD SERVICE TRICON FOOD SERVICES 344 MAPLE AVENUE WEST #325 VIENNA, VA 22180

CODE CONSULTANT
COSENTINI
101 FEDERAL STREET, 6TH FL
BOSTON, MA 02110

#### SUNRISE OF NEWTON

WASHINGTON & HOVEY STREETS NEWTON, MA 02458





Cocale: 1/16" = 1'-0"
Date: 964.00
Project Number: 3/3/2017

REVISIONS

NO. DESCRIPTION DATE

SPECIAL PERMIT APPLICATION

BASEMENT /
FIRST FLOOR

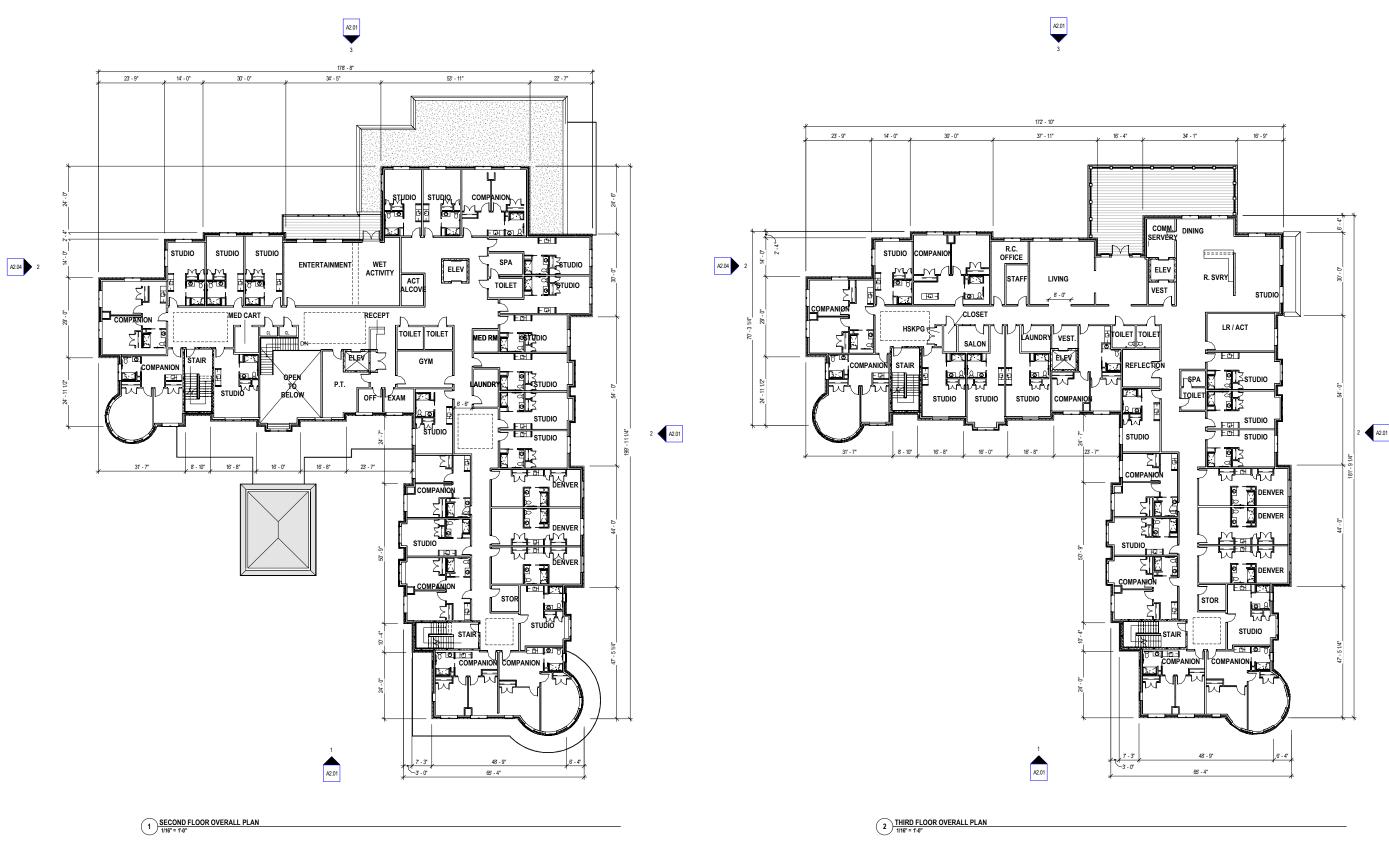
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3/3/3/17 142/42 PM C.\ Routh Princes 2016/STINBISE NEWTON MA (2016) - 85 LINIT - SPECIAL PERMIT APPLICAT

23' - 9"

0' 8' 16' 32' 64'





INTERIORS PLANNERS 273 CORPORATE DRIVE

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COSENTINI
101 FEDERAL STREET, 6TH FL

#### **SUNRISE OF NEWTON**

WASHINGTON & HOVEY STREETS NEWTON, MA 02458





1/16" = 1'-0" 964.00 3/3/2017

NO. DESCRIPTION DATE

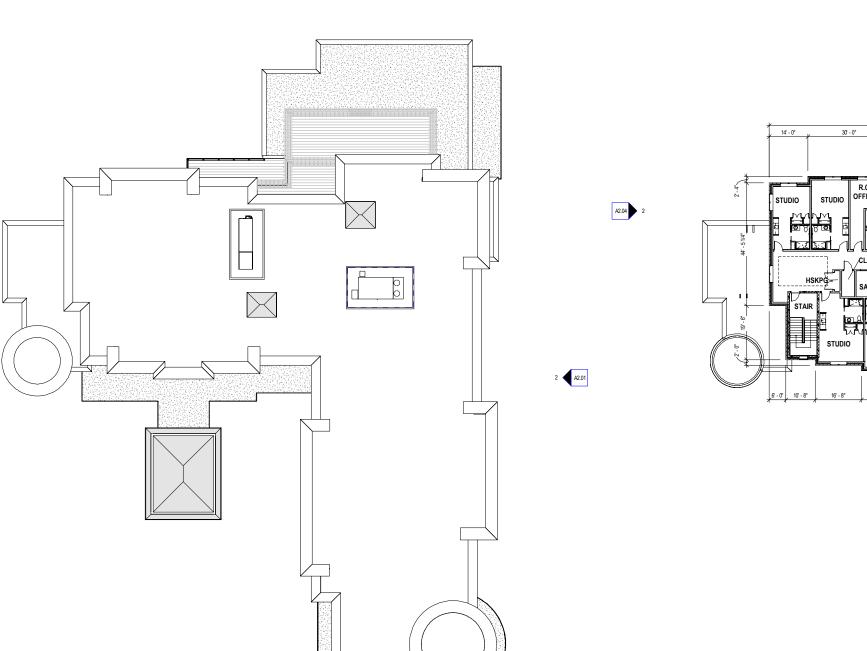
REVISIONS

SPECIAL PERMIT **APPLICATION** 

**SECOND FLOOR** / THIRD FLOOR

**A0.02** 

A2.04 2



A2.01

ROOF OVERALL PLAN

1 FOURTH FLOOR OVERALL PLAN 1/16" = 1'-0"



STUDIO



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WASHINGTON & HOVEY STREETS NEWTON, MA 02458





1/16" = 1'-0" 964.00 3/3/2017

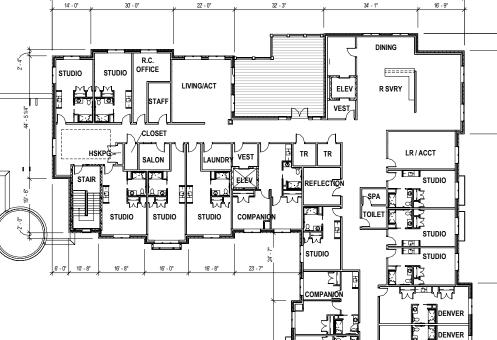
REVISIONS NO. DESCRIPTION DATE

> SPECIAL PERMIT **APPLICATION**

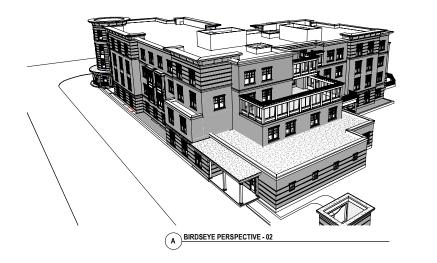
**FOURTH FLOOR** / ROOF

A0.03

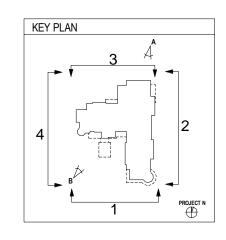
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A2.01



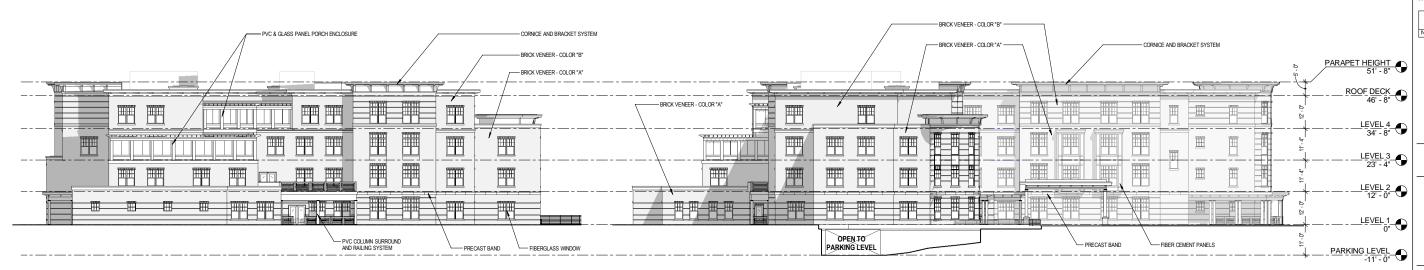




FEDURAS WEGNIN
FEDURA

1) SOUTH EXTERIOR ELEVATION (WASHINGTON STEET)

EAST EXTERIOR ELEVATION (HOVEY STREET)



3 NORTH EXTERIOR ELEVATION

WEST EXTERIOR ELEVATION

I/I/6" = 1'-0"

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WASHINGTON & HOVEY STREETS NEWTON, MA 02458





ale: As indicated te: 964.00 ject Number: 3/3/2017

REVISIONS

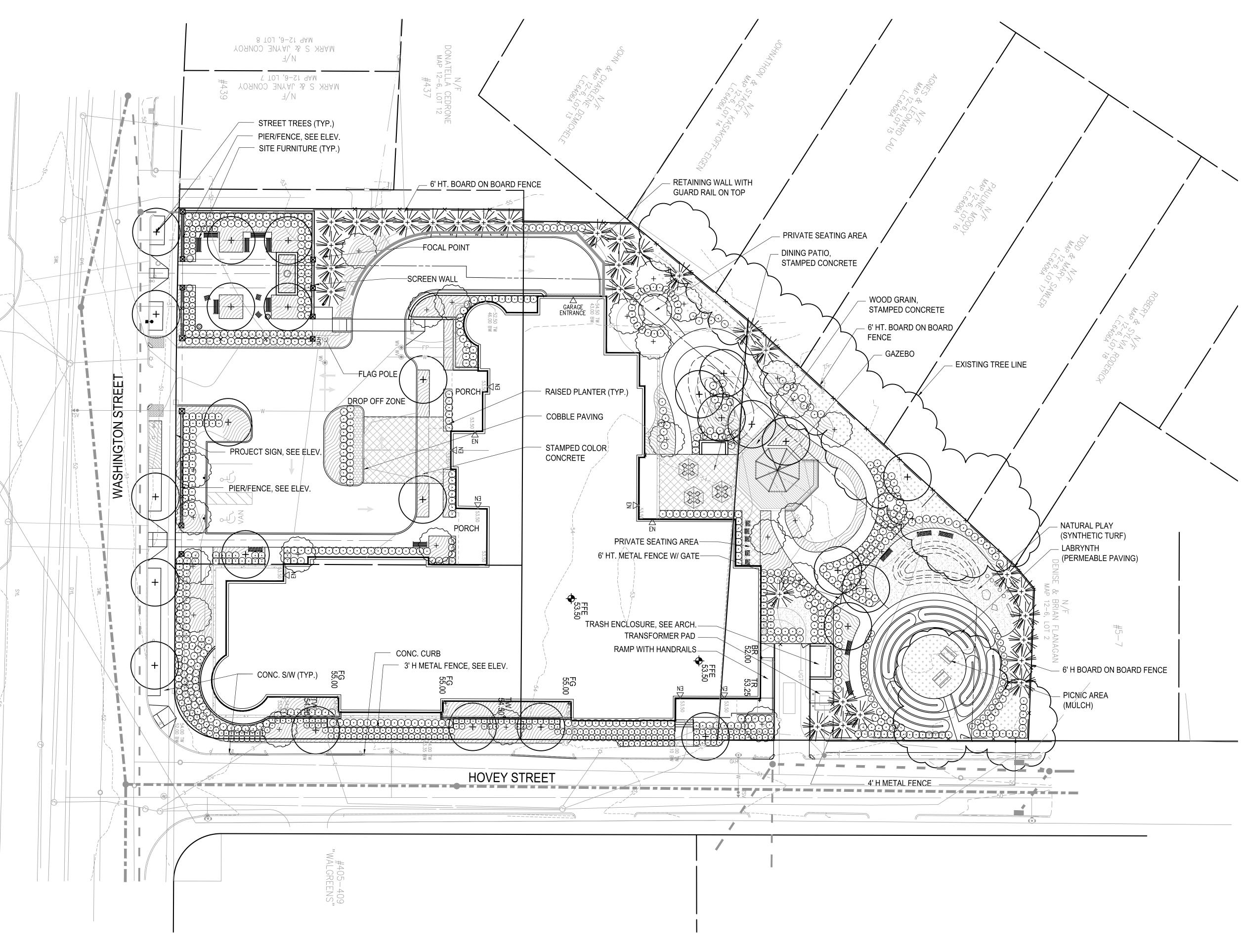
NO. | DESCRIPTION | DATE

SPECIAL PERMIT APPLICATION

OVERALL EXTERIOR ELEVATIONS

A2.01

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TREES	TYPE
+	CANOPY TREE
+	EVERGREEN TREE
+	ORNAMENTAL TRE
SHRUBS	COMMON NAME
+	LARGE SHRUB
+	SHRUB
GROUND COVERS	COMMON NAME
	GROUND COVER

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WASHINGTON & HOVEY STREETS NEWTON, MA 02458

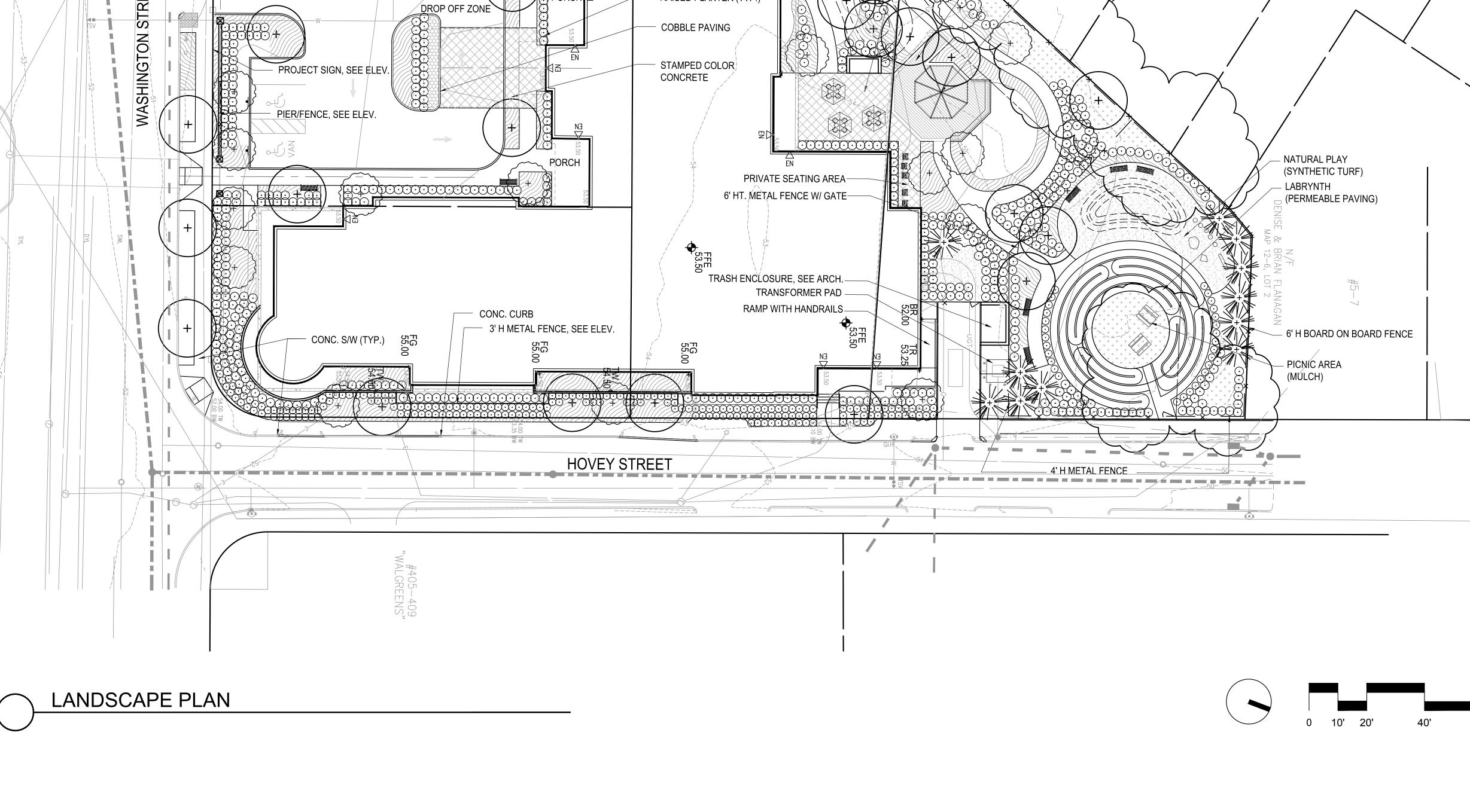


1"=20'-0" 964.00 3/3/2017

**REVISIONS** NO. DESCRIPTION DATE

> **LANDSCAPE PLAN**

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HOVEY STREET



WASHINGTON STREET

1/8"= 1'-0"

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### SUNRISE OF NEWTON

WASHINGTON & HOVEY STREETS NEWTON, MA 02458



 Scale:
 1/8"=1'-0"

 Date:
 964.00

 Project Number:
 3/3/2017

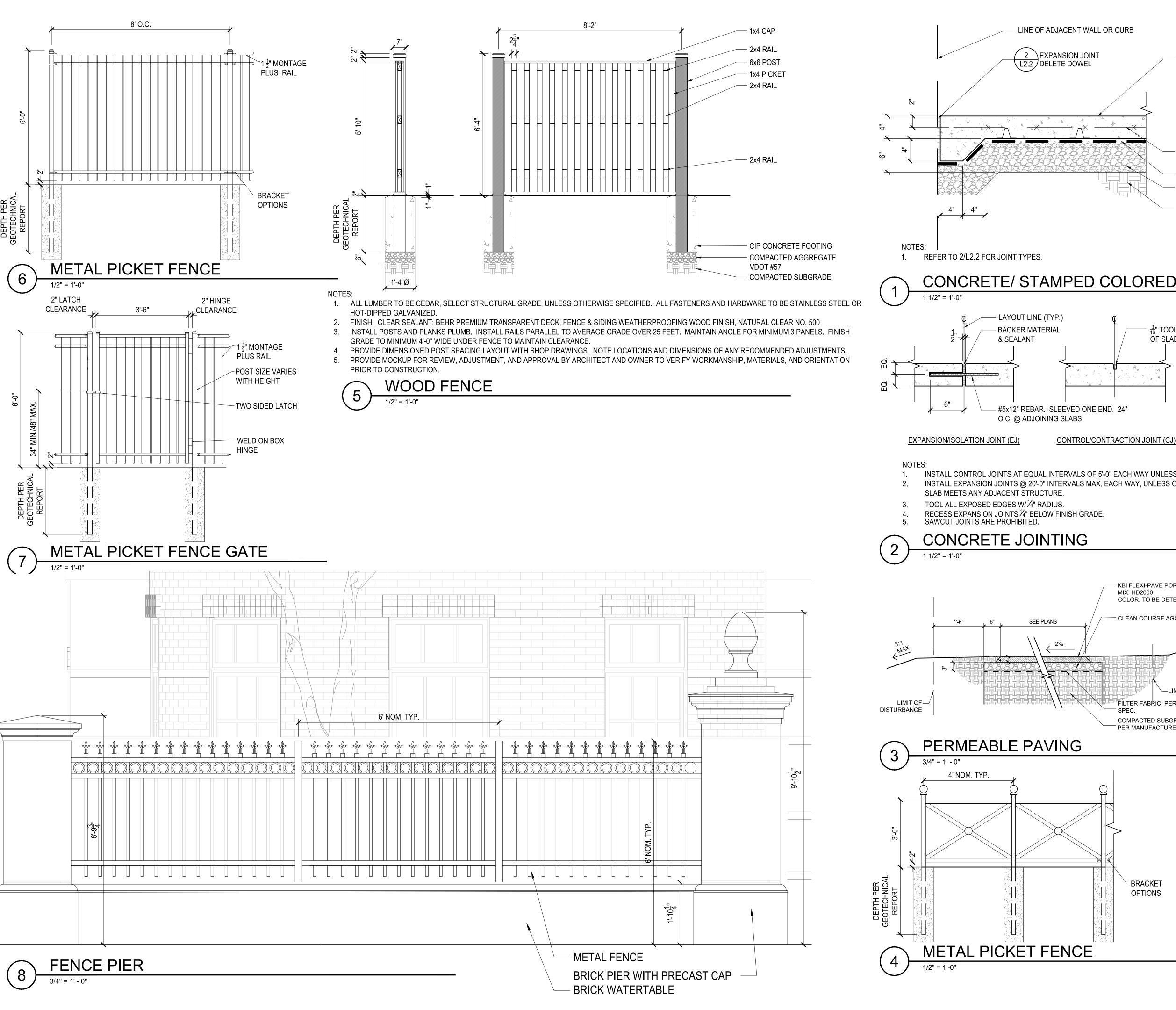
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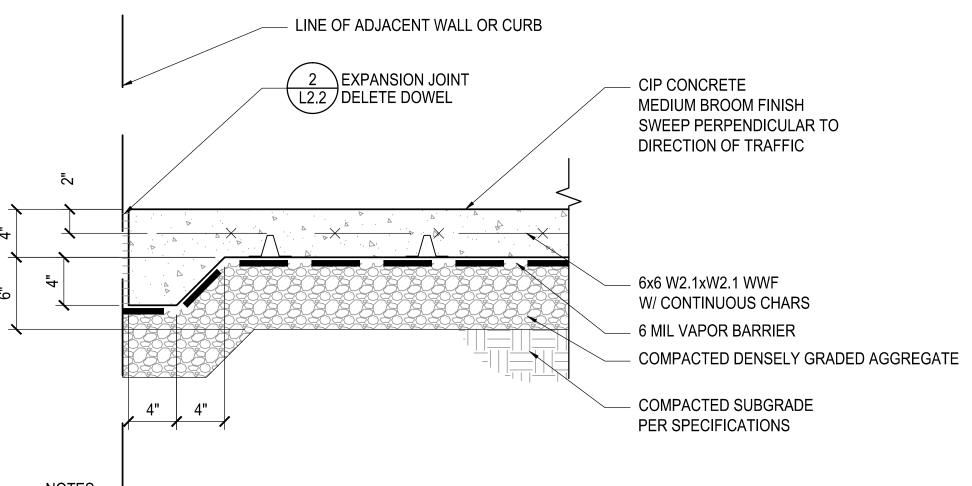
NO. DESCRIPTION DATE

**ELEVATIONS** 

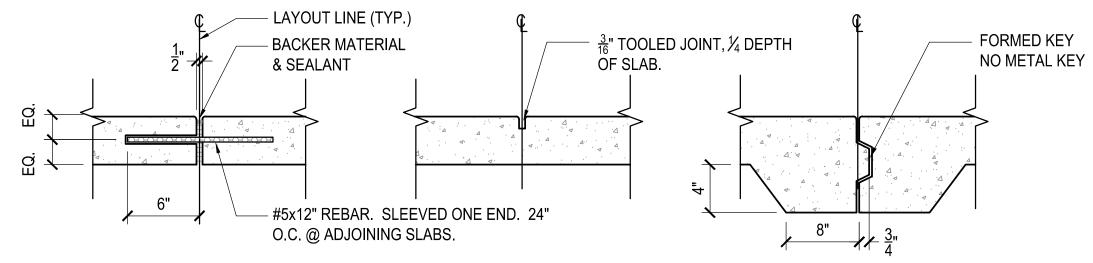
**L2.1** 

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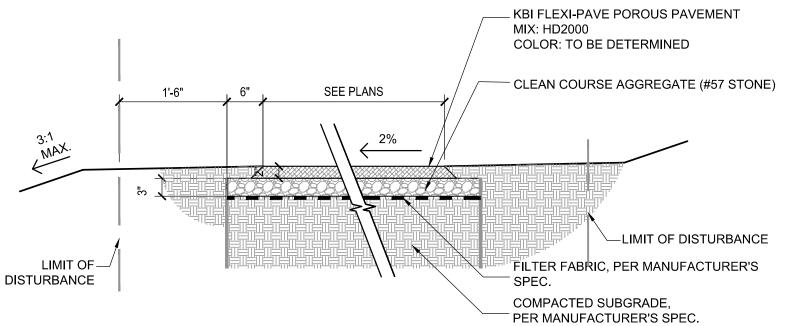
# CONCRETE/ STAMPED COLORED CONCRETE PAVING

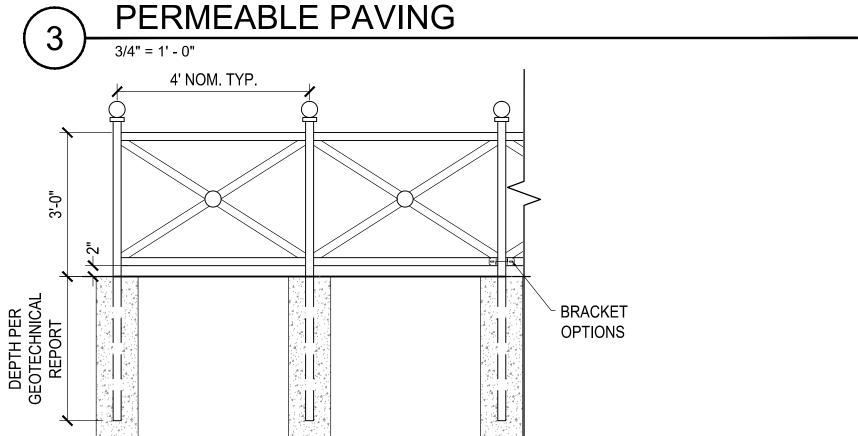


KEYED CONSTRUCTION JOINT (KJ)

INSTALL CONTROL JOINTS AT EQUAL INTERVALS OF 5'-0" EACH WAY UNLESS OTHERWISE INDICATED.

INSTALL EXPANSION JOINTS @ 20'-0" INTERVALS MAX. EACH WAY, UNLESS OTHERWISE INDICATED, AND WHERE





ARCHITECT INTERIORPLANNER

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# **SUNRISE OF NEWTON**

WASHINGTON & HOVEY STREETS NEWTON, MA 02458



**AS SHOWN** Scale: 964.00 Date: 3/3/2017 Project Number:

REVISIONS

NO. DESCRIPTION DATE

FENCING/ **PAVING DETAILS** 

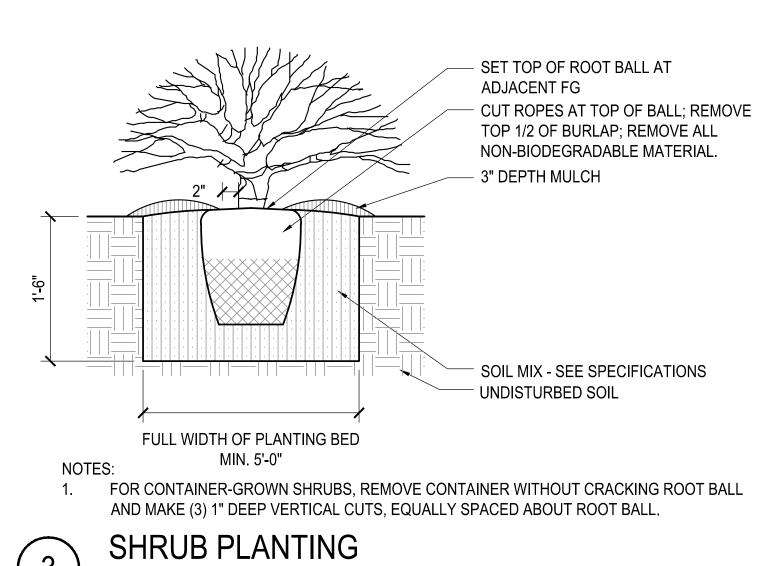
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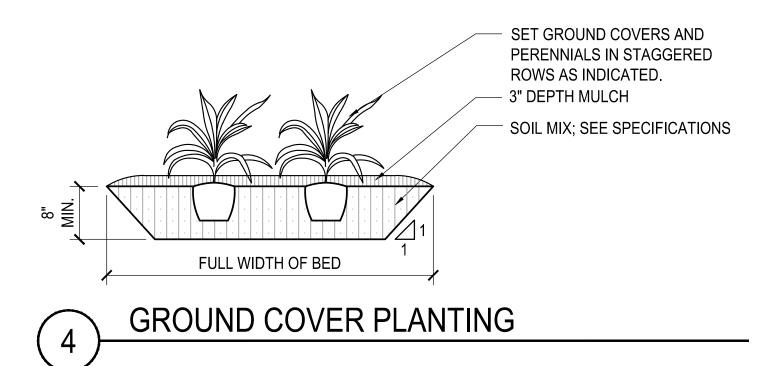
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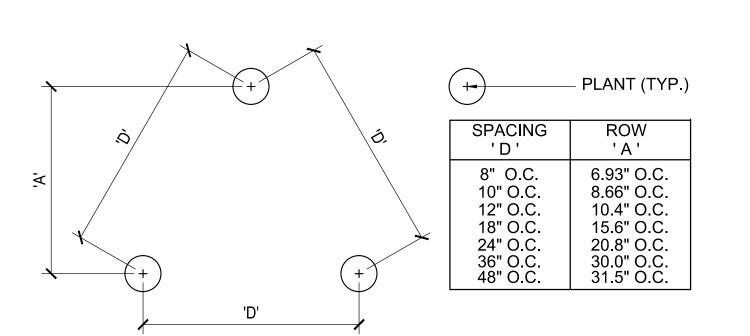
PLANT SCHE		
CANOPY TREES	BOTANICAL NAME	COMMON NAME
+	ACER SACCHARUM 'LEGACY'	LEGACY SUGAR MAPLE
+	GINKGO BILOBA `AUTUMN GOLD` TM	MAIDENHAIR TREE
+	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS COMMON HONEYLOCUST
+	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE
+	QUERCUS ALBA	WHITE OAK
+	QUERCUS PHELLOS	WILLOW OAK
+	QUERCUS RUBRA	RED OAK
+	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM
EVERGREEN	BOTANICAL NAME	COMMON NAME
	ILEX OPACA	AMERICAN HOLLY
	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR
	PICEA GLAUCA	WHITE SPRUCE
	PINUS STROBUS	WHITE PINE
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME
	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY
+	BETULA NIGRA	RIVER BIRCH
	CARPINUS CAROLINIANA	MULTI-TRUNK  AMERICAN HORNBEAM
	CERCIS CANADENSIS	EASTERN REDBUD
	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE
	CORNUS FLORIDA 'CHEROKEE PRINCESS'	CHEROKEE PRINCESS DOGWOOD
	HAMAMELIS VIRGINIANA	COMMON WITCH HAZEL
	MAGNOLIA VIRGINIANA	SWEET BAY
	MALUS X `DONALD WYMAN`	DONALD WYMAN CRAB APPLE
	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM
	OXYDENDRUM ARBOREUM	SOURWOOD TREE
		TO THE

LARGE SHRUBS	EDULE BOTANICAL NAME	COMMON NAME
+	CALYCANTHUS FLORIDUS	SWEET SHRUB
	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE CLETHRA
	HYDRANGEA QUERCIFOLIA 'PEE WEE'	OAKLEAF HYDRANGEA
	ILEX VERTICILLATA	WINTERBERRY
	KALMIA LATIFOLIA	MOUNTAIN LAUREL
	VIBURNUM DENTATUM	ARROWWOOD VIBURNU
SMALL SHRUBS	BOTANICAL NAME	COMMON NAME
•	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY
	CORNUS SERICEA 'CARDINAL'	`CARDINAL` RED-TWIG DOGWOOD
	FOTHERGILLA GARDENII	DWARF FOTHERGILLA
	ILEX GLABRA	INKBERRY HOLLY
	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SUMMERSWEET
	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY
GROUND COVERS	BOTANICAL NAME	COMMON NAME
	AQUILEGIA CANADENSIS	CANADIAN COLUMBINE
	ASCLEPIAS INCARNATA	SWAMP MILKWEED
	CAMPSIS RADICANS	TRUMPET CREEPER
	CAREX STRICTA	TUSSOCK SEDGE
	JUNIPERUS HORIZONTALIS	CREEPING JUNIPER
	LONICERA SEMPERVIRENS	CORAL HONEYSUCKLE
	OSMUNDA CINNAMOMEA	CINNAMON FERN
	PARTHENOCISSUS QUINQUEFOLIA	VIRGINA CREEPER
	PHLOX DIVARICATA	WILD BLUE PHLOX
	RUDBECKIA HIRTA	BLACK EYED SUSAN

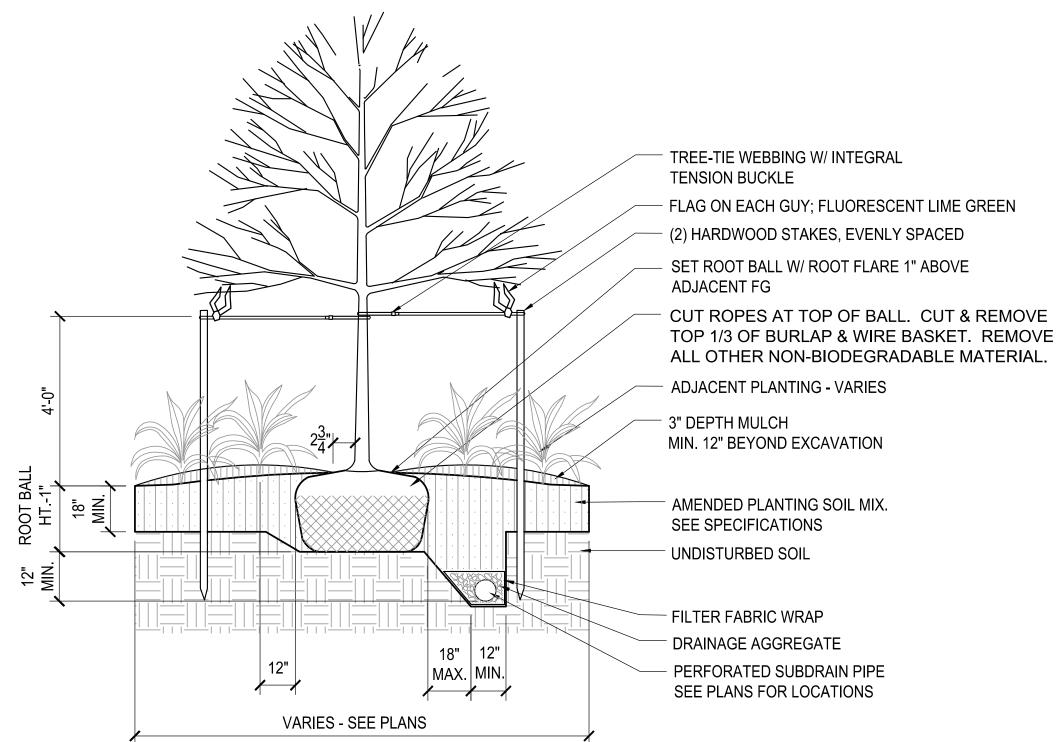






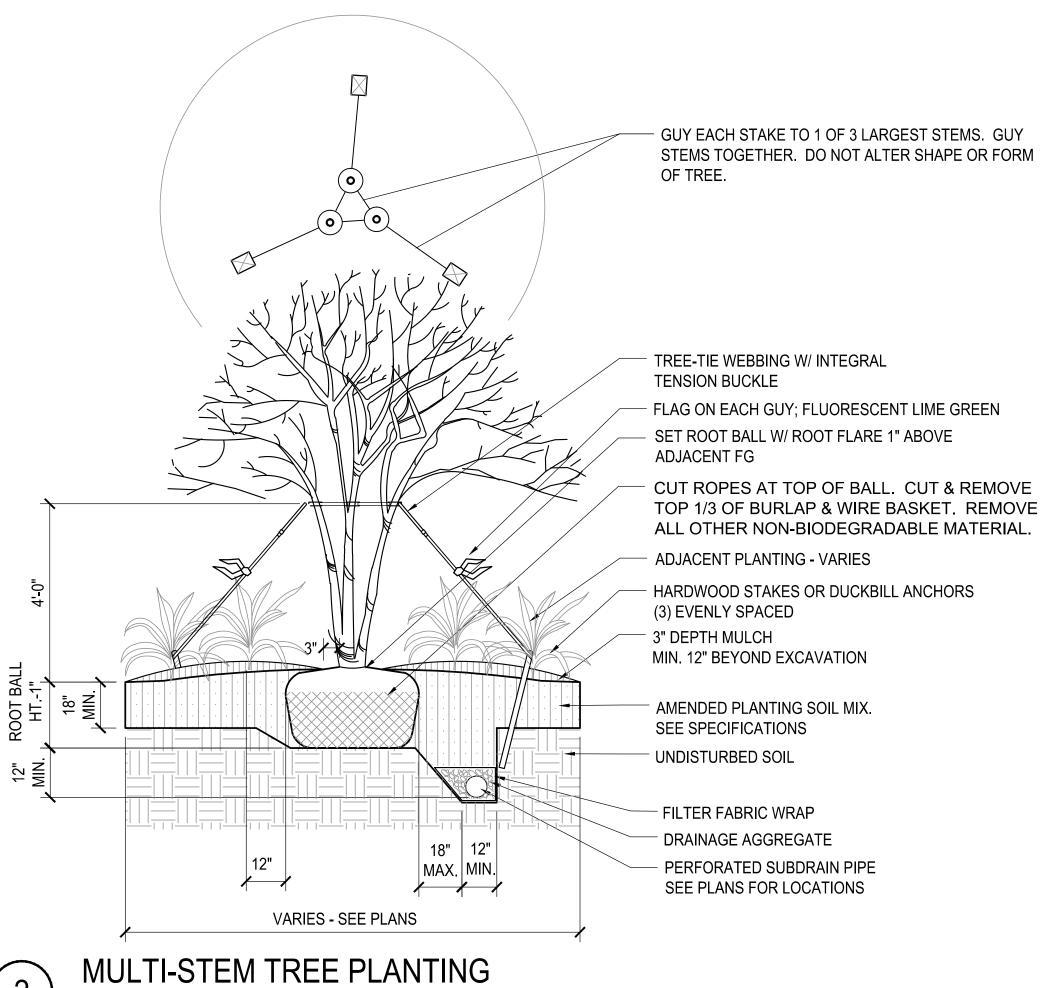


GROUND COVER SPACING



FOR TREES MORE THAN 6" CALIPER, PROVIDE CABLE GUYS. PROVIDE TREE-TIE WEBBING AT CONTACT POINTS WITH TRUNK. PROVIDE (1) TURNBUCKLE PER GUY. ALLOW ENOUGH SLACK TO AVOID RIGID RESTRAINT OF TREE.

# SINGLE-STEM TREE PLANTING





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CODE CONSULTANT COSENTINI 101 FEDERAL STREET, 6TH FL BOSTON, MA 02110

## **SUNRISE OF NEWTON**

WASHINGTON & HOVEY STREETS NEWTON, MA 02458



Scale: **AS SHOWN** Date: 964.00 Project Number: 3/3/2017

REVISIONS

NO. DESCRIPTION DATE

**PLANTING DETAILS** 

**L2.3** 

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# Site Plans

**Special Permit Application** Issued for Date Issued March 3, 2017 March 3, 2017 Latest Issue

# Sunrise of Newton

431 Washington Street Newton, MA

# **Applicant**

Sunrise Development, Inc. 7902 Westpark Drive McLean, VA 22102



Assessor's Map: 12006

Lot: 0003, 0004, 0005



Site/	Civil	
No.	Drawing Title	Latest Issue
C-1	Legend And General Notes	March 3, 2017
C-2	Area Plan	March 3, 2017
C-3	Zone Change Plan	March 3, 2017
C-4	Zoning Assessment Plan	March 3, 2017
C-5	Layout and Materials Plan	March 3, 2017
C-6	Grading and Drainage Plan	March 3, 2017
C-7	Utility Plan	March 3, 2017
C-8	Erosion and Sediment Control Plan	March 3, 2017
C-9.1	Site Details	March 3, 2017
C-9.2	Site Details	March 3, 2017
C-10	Fire Access Plan	March 3, 2017

	Refer		
е	No.	Drawing Title	Latest Issue
7	Sv-1	Existing Conditions Plan of Land	October 12, 2016
7	A0.01	Basement/First Floor	March 3, 2017
.7	A0.02	Second/Third Floor	March 3, 2017
7	A0.03	Fourth/Roof	March 3, 2017
7	A2.01	Exterior Elevations	March 3, 2017
7			
.7			
7			



**Geotechnical Engineer** 

GZA GeoEnvironmental, Inc. 249 Vanderbilt Avenue Norwood, MA 02062 781.278.3700

603.436.2551

Suite 100

**Architect** 

JSA Inc.

**Legal Counsel** 

Schlesinger and Buchbinder, LLP 1200 Walnut Street Newton, MA 02461 617.965.3500

LSG Landscape Architecture 1775 Greensboro Station Place

**Landscape Architect** 

Watertown, MA 02471

273 Corporate Drive

Portsmouth, NH 03801

617.924.1770

Suite 110 Tysons, VA 22102 703.821.2045

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Exist. Prop. Concentration   Discourage   Concentration   Discourage   Concentration   Discourage   Discourag			Leg	end		
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MICHAEL OF WARPPROPRENT TOP			PROPERTY LINE		And the second second	CONCRETE
SASSARPIT			PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
BULDING STRACK PARAMETERS AND STRACK PARAMET			RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
PARSIST ETEROC   PARSIST CENTRO   PARSIS CEN	- — –		EASEMENT			RIPRAP
PARSIST ETEROC   PARSIST CENTRO   PARSIS CEN			BUILDING SETBACK		7/7/7	CONSTRUCTION ENTRANCE
ASSENCE  CONSTRUCTION LAYOUT  LICENS IN SOUTH ENVIRONMENT OF BOTTOM OF CURR ELEVATION  CONTRICTORY IN SOUTH IN SOUTH IN SOUTH ELEVATION  CONTRICTORY IN SOUTH IN SOUT			PARKING SETBACK			
CONSTRUCTION COVERS 1923 1923 1923 1923 1923 1923 1923 1923	10+00	10+00	BASELINE			
TOWN LIPE  TOWN LIPE  TOWN LIPE  LINT OF DISTURBANCE  WELLAND LIPE WITH PLAG  WELLAND LIPE WITH PLAG  WELLAND LIPE WITH PLAG  PLOODERS AND SUBJECT  TO LINDSERBAN  BOOKSENER LAND LAND  BOOKSENER LAND  BOOKSEN			CONSTRUCTION LAYOUT	26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
TOWN LINE  IMIT OF DISCURSANCE  IMIT OF DISCURSANCE						SPOT ELEVATION
LIMIT OF DISTURBANCE  WITLAND LINE WITH FLAG  OW SETS THE LOCATION  WITLAND LINE WITH FLAG  LICENSTRUCTORY  WITLAND LINE WITH FLAG  OW SETS THE LOCATION  MONTORWING WHI  LICENSTRUCTORY  ON KOODING  WITH ON DESTRUCTORY  OW SETS THE LOCATION  NO DESTRUCTORY  AND DESTRUCTORY  OW WATER  AND DESTRUCTORY  OW WATER  AND DESTRUCTORY  OW WATER  OW OUT OWN				45.0 TW 38.5 BW	45.0 IW 38.5 BW	TOP & BOTTOM OF WALL ELEVATION
WETLAND LINE WITH FLAG  FLOODE AIN  FLOODE AIN  FLOODE AIN  FLOODE AIN  FLOODE AIN  WETLAND SUBJECT  TO FOODING  TO SUBJECT  FOODING  FOO				- +	*	BORING LOCATION
BERREADE LAND SUBJECT TO LOCADINA  BERREADE LAND SUBJECT TO LOCADINA  WITH AND RUFFER ZONE  BORDERS BLAND SUBJECT TO LOCADINA  WITH AND RUFFER ZONE  BOTH BOTH BOTH BOTH BOTH BOTH BOTH BOTH	_		LIMIT OF DISTURBANCE			TEST PIT LOCATION
BOTH PROMISE LAND SURRECT	<u>&amp;</u> ·		WETLAND LINE WITH FLAG	<b>○</b> MW	→ <sup>MW</sup>	MONITORING WELL
BRORESHING LAND SUBJECT TO FOLKOOMES TO TO COOKING TO TO TO COOKING TO TO TO COOKING TO TO TO COOKING THE TO CO			FLOODPLAIN			LINDEDDDAIN
WETLAND BUFFER ZONE	BLSF		BORDERING LAND SUBJECT			
NO DISTURB ZONE				C*DD		
TO CONTROL MAIN  TO RECEIVE ROAD  GRAVE RO						
GRAVEL ROAD  GRAVE	NDZ		NO DISTURB ZONE			
GRAVEI ROAD  BB STUMMOUS BERNA  CONCRETE CURB  CONC	200'RA—		200' RIVERFRONT AREA			
IDGE OF PAVIMINAT  BB  BB  BITUMINOUS BEBM  CC  CC  CC  CC  CC  CC  CC  CC  CC			GRAVEL ROAD			
BE BE STUMMOUS EERM — 200 DON'STIC WATER  BE BITUMMOUS CLIRB — C GAS  CO CONCRETE CURB — C ELECTRIC  CO CURB AND GUTTER SIM — STIM — STEAM  CO CURB AND GUTTER SIM — STIM — STEAM  CO CURB AND GUTTER SIM — T TELEPHONE  CO CONCRETE CURB — T TELEPHONE  CO CURB AND GUTTER SIM — STIM — STEAM  CO CONCRETE CURB — T TELEPHONE  CO COMPACT PARKING STALLS — T TELEPHONE  CO COMPACT PARKING STAL	EOP					
BE BUILDING CURB SO GO		BB		4"FP		
CC CONCRETE CURB  CR CURB AND GUTTER  CR CALL TY  CARLETY  CARL					——2"DW——	DOMESTIC WATER
GS CURB AND GUTTER  GS HSC EXTRUBED CONCRETE CURB  GS HSC SUPED GRANL ECONCRETE CURB  GS HSC SUPED GRANL ECONCRETE CURB  GS HSC SUPED GRANL EDGING  GS HSC HSC HSC HSC HSC HSC HSC HSC HSC HS				3"G	——-G——	GAS
COLUMN AND CONTOUR  COLUMN AND COLUM		<del></del>		——E——	——E——	ELECTRIC
MGC MONOLITHIC CONCRETE CURB  MODULE CATCH BASIN  DOUBLE CATCH BASIN  DOUBLE CATCH BASIN  DOUBLE CATCH BASIN  DOUBLE CATCH BASIN  MODULE CATCH BASIN  DOUBLE CATCH BASIN  MODULE CATCH BASIN  MODULE CATCH BASIN  MODULE CATCH BASIN  MODERN AND COLLAROUT  TRENCH DRAIN  TRENCH DRAIN  TRENCH DRAIN  TRENCH DRAIN  MATER WALL  MODULE SIGN  MODULE SIG				STM	——STM——	STEAM
SE SEE SLOPED GRAN. EDGING  VERT. GRAN. LURB  VE			EXTRUDED CONCRETE CURB	——Т——	——T——	TELEPHONE
SEE SLOPED GRAN. EDGING  WE VERT, GRAN. CURB  UMIT OF CURB TYPE  SAWCUT  BUILDING  CACH BASIN  CACH BASIN  CACH BASIN  CACH BASIN  BUILDING  CLEAROUT  BUILDING  CLEAROUT  BUILDING  CLEAROUT  BUILDING  CLEAROUT  BUILDING  CLEAROUT  BUILDING  CLEAROUT  BUILDING  BUILDING  CLEAROUT  BUILDING  CLEAROUT  BUILDING  BUILDING  CLEAROUT  BUILDING  BUILDING  CLEAROUT  BUILDING  CACH  CACH BASIN  CACH BASIN  CACH BASIN  CACH BASIN  CACH BASIN  BUILDING  CLEAROUT			MONOLITHIC CONCRETE CURB	———FA———	——FA——	FIRE ALARM
VOC VEC. VERT, GRAN, CUBS  LIMIT OF CURB TYPE  SAWCUT  BUILDING  BUILDING  BUILDING  BUILDING  BUILDING  BUILDING  BUILDING  BUILDING  BUILDING ENTRANCE  CLEANOUT  BOLLARD  BUILDING ENTRANCE  CLEANOUT  BOLLARD  BUILDING ENTRANCE  CLEANOUT  HEADWALL  SIGN  CUBS STOP & BOX  WATER VALVE & BOX  SEWER MANHOLE  CUBS STOP & BOX  WATER VALVE & BOX  TAPPING SLEEVE, VALVE & BOX  STAMESE CONNECTION  FRACE  WATER VALVE & BOX  WATER WALVE & BOX  WATER WELL  WATER WELL  WATER WELL  WATER WELL  BUILDING  BUILDING  WATER WELL  DELECTRIC MANHOLE  TELEPHONE MANHOLE  THE LIPHONE  THE LI			PRECAST CONC. CURB		——CATV——	CABLE TV
VERT, GRAIN, CLUBB  LIMIT OF CURB TYPE  SAWCUT  BUILDING  BUILDING  BUILDING  BUILDING  LOADING DOCK  BOLLARD  LOADING DOCK  BOLLARD  BUILDING ENTRANCE  LOADING DOCK  BOLLARD  BUILDING ENTRANCE  LOADING DOCK  BOLLARD  COMPSTER PAD  SIGN  SEWER MANHOLE  CLEANOUT  HEADWALL  COMPSTER PAD  CUBES STOP R. BOX  WATER VALVE & BOX  WATER VALVE & BOX  STREEL GUARDRAIL  WOOD GUARDRAIL  TEREL LINE  BUILDING  CUBES TOP R. BOX  WATER VALVE & BOX  TAPPING SLEEV, VALVE & BOX  STAMESE CONNECTION  FIRE HYDRANT  WATER METER  WATER METER  WATER METER  WATER METER  WATER METER  BUILDING  CUBES TOP R. BOX  WATER VALVE & BOX  TAPPING SLEEV, VALVE & BOX  STAMESE CONNECTION  FIRE HYDRANT  WATER METER  WATER METER  WATER METER  BUILDING  COMPSTER HYDRANT  WATER METER  WATER METER  BUILDING  BUILDING  CUBES TOP R. BOX  WATER VALVE & BOX  TAPPING SLEEV, VALVE & BOX  STAMESE CONNECTION  FIRE HYDRANT  WATER METER  POST INDICATOR VALVE  WATER METER  BUILDING  CUBES TOP R. BOX  WATER METER  DOWNER MATER METER  DOWNER METER  DOWNER METER  DOWNER METER  DOWNER METER  DOWNER METER  DOWNER MATCH DOLL  BUILDING  BUILDING  DOWNER METER  DOWNER MATCH DOLL  BUILDING  BUILDING  BUILDING  COMPACT PARKING STALLS  BUILDING  BUILDING  MATCHLINE			SLOPED GRAN. EDGING		<b>====</b>	CATCH DACIN
LIMIT OF CURB TYPE  SAWCUT  BUILDING  BUILDING  BUILDING  BUILDING  BUILDING  BUILDING  BUILDING  BUILDING  BUILDING  BUILDING BUILDING ENTRANCE  BUILDING BUILDING BUTRANCE  BUILDING BUILDING BUTRANCE  BUILDING  BUILDION  BUILDING  BUILDING  BUILDING  BUILDION  BUILDION  BUILDION  BUILDION  BUILDION  BUILDION  BUILDION  BUILDION  BUILDION  BUIL	VGC	VGC	VERT. GRAN. CURB			
DRAIN MANHOLE  TRENCH DRAIN  JOH  JOH  BUILDING  LOADING DOCK  BOLLARD  DATE PAD  SIGN  SEWER MANHOLE  CURB STOP & BOX  WATER VALVE & BOX  STEEL GUARDRAIL  WOOD GUARDRAIL  WOOD GUARDRAIL  TEEL IN  PATH  TREE LINE  WIRE FENCE  STOCKADE FEN			LIMIT OF CURB TYPE			
BUILDING    If   BUILDING   C   C   C   C   C   C   C   C   C			SAWCUT		•	
BUILDING ENTRANCE LOADING DOCK BOLLARD DUMPSTER PAD  DUMPSTER PAD  SEWER MANHOLE  CURB STOP & BOX WATER VALVE & BOX STEEL GUARDRAIL WOOD GUARDRAIL  TREE LINE WIRE FENCE WIRE FENCE STOCKADE FENCE STONE WALL STONE WALL STONE WALL BETAINING WALL STREAM / POND / WATER COURSE DETENTION BASIN HAY BALES SILT FENCE MINOR CONTOUR MAJOR CONTOUR M	V.					
BUILDING ENTRANCE  LOADING DOCK BOLLARD DUMPSTER PAD  SIGN SEWER MANHOLE  CURB STOP & BOX WATER VALVE & BOX WATER VALVE & BOX WOOD GUARDRAIL WOOD GUARDRAIL  TREE LINE TREE LINE TREE LINE TREE LINE TREE STOCKADE FENCE	(//////		BUILDING			
FLARED END SECTION BOLLARD  DUMPSTER PAD  GISON  SEWER MANHOLE  CURB STOP & BOX WATER VALVE & BOX WATER VALVE & BOX SIAMESE CONNECTION FIRE HYDRANT WATER VALVE & BOX SIAMESE CONNECTION FIRE HYDRANT WATER WALL  WATER WALL  FENCE  STOCKADE FENCE  STONE WALL  RETAINING WALL  STREAM / POND / WATER COURSE  DETENTION BASIN  AND BASIN  RETAINING WALL  STREAM / POND / WATER COURSE  DETENTION BASIN  AND BASIN  AND BASIN  FLARED END SECTION HEADWALL  WATER WALVE & BOX WATER VALVE & BOX SIAMESE CONNECTION FIRE HYDRANT WATER METER POST INDICATOR VALVE WATER WELL  GAS METER  GAS METER  LIGHT POLE  LIGHT POLE  TRANSFORMER PAD  MINOR CONTOUR  MAIOR CONTOUR  MAICHLINE  MATCHLINE		<b>]</b> ⊲EN	BUILDING ENTRANCE			
DUBSTER PAD  DUBSTER PAD  SIGN  DUBLE SIGN  STEEL GUARDRAIL  WOOD GUARDRAIL  PATH  TREE LINE  WIRE FENCE  STOCKADE FENCE  STOC	](		LOADING DOCK		•	
SEWER MANHOLE  DOUBLE SIGN  STEEL GUARDRAIL  WOOD GUARDRAIL  PATH  PATH  TREE LINE  FENCE  STOCKADE FENCE  SULT FORCE  SULT FO	•	•	BOLLARD		<b>P</b>	
DOUBLE SIGN  STEEL GUARDRAIL  WOOD GUARDRAIL  PATH  TREE LINE  WIRE FENCE  STOCKADE FENCE  STOCKADE FENCE  STORWALL  RETAINING WALL  STREAM / POND / WATER COURSE  DETENTION BASIN  ACCURB STOP & BOX  WATER VALVE & BOX  SIAMESE CONNECTION  FIRE HYDRANT  WATER METER  POST INDICATOR VALVE  WATER WELL  WATER WELL  GO GAS GAS GATE  GAS METER  ELECTRIC MANHOLE  LIGHT POLE  LIGHT POLE  LIGHT POLE  LIGHT POLE  LIGHT POLE  MINOR CONTOUR  MINOR CONTOUR  DARKING COUNT  MINOR CONTOUR  DARKING STALLS  PARKING STALLS  PARKING STALLS  PARKING COUNT  MATCHLINE	D	D	DUMPSTER PAD			HEADWALL
STEEL GUARDRAIL  WOOD GUARDRAIL  PATH  PATH  TREE LINE  WIRE FENCE  FENCE  STOCKADE FENCE  STOCKADE FENCE  STOCKADE FENCE  STOWN WALL  STREAM / POND / WATER COURSE  DETENTION BASIN  AX SILT FENCE  WIND SILMESS  WATER WELL  WATER METER  POST INDICATOR VALVE  WATER WELL  GAS METER  ELECTRIC MANHOLE  LIGHT POLE  LIGHT POLE  WIND TRANSFORMER PAD  TELEPHONE MANHOLE  WILL  TRANSFORMER PAD  WIND CONTOUR  WIND CONTOUR  WATER WELL  GO GAS METER  ELECTRIC MANHOLE  LIGHT POLE  WILL  TRANSFORMER PAD  WILL  WIND CONTOUR  WILL  WIND CONTOUR  WILL  WIND CONTOUR  WIND CONTOUR  WIND COMPACT PARKING STALLS  PB  PB  PB  PULL BOX  MATCHLINE  MATCHLINE  MATCHLINE  MATCHLINE  MATCHLINE	-	•	SIGN	(\$)	•	SEWER MANHOLE
STEEL GUARDRAIL  WOOD GUARDRAIL  PATH  TREE LINE  WATER VALVE & BOX  TAPPING SLEEVE, VALVE & BOX  SIAMESE CONNECTION  FIRE HYDRANT  WATER METER  WATER METER  WATER METER  POST INDICATOR VALVE  WATER WELL  POST INDICATOR VALVE  WATER WELL  WATER W		<b>=</b>	DOUBLE SIGN	CS	cs	
WOOD GUARDRAIL  PATH  TREE LINE  TREE LINE  WIRE FENCE  FENCE  STOCKADE FENCE  STOCKADE FENCE  TO BETENTION BASIN  HAY BALES  SILT FENCE  SILT FENCE  WIRE FENCE  WIRE FENCE  WIRE FENCE  WIRE FENCE  WATER WELL  COMPACT PARKING STALLS  DOUBLE YELLOW LINE  STOP LINE  WATER WELL  TAPPING SLEEVE, VALVE & BOX  SIAMESE CONNECTION  FIRE HYDRANT  WATER METER  WATER METER  POST INDICATOR VALVE  WATER WELL  WATER WELL  WATER WELL  GO GAS GATE  GO GAS GATE  GO GAS METER  ELECTRIC MANHOLE  LIGHT POLE  TELEPHONE MANHOLE  TRANSFORMER PAD  WILL GUY WIRE & ANCHOR  HH HH HH HH HH HH HND HOLE  PB PB PB PULL BOX  MATCHLINE  MATCHLINE  MATCHLINE  MATCHLINE  MATCHLINE						CURB STOP & BOX
WOOD GUARDRAIL  PATH  PATH  TREE LINE  WIRE FENCE  FENCE  FENCE  STOCKADE FENCE  STOCKADE FENCE  STOCKADE MALL  STONE WALL  STEAM / POND / WATER COURSE  DETENTION BASIN  DETENTION BASIN  SILT FENCE  SILT SOCK / STRAW WATTLE  MINOR CONTOUR  MAJOR CONTOUR  MAJOR CONTOUR  MAJOR CONTOUR  DOUBLE YELLOW LINE  STOP LINE  MATCHLINE	T T		STEEL GUARDRAIL			WATER VALVE & BOX
PATH  TREE LINE  WIRE FENCE  FINH  GAS METER  FUHH  ELECTRIC MANHOLE  ELECTRIC MANHOLE  ELECTRIC MANHOLE  FENCE  FENCE  FENCE  FINH  FENCE  FINH  FENCE  FINH  FENCE  FINH  FI			WOOD GUARDRAIL	<b>+</b>	— <b>●</b> ►	TAPPING SLEEVE, VALVE & BOX
TREE LINE  WIRE FENCE  FENCE  STOCKADE FENCE  STONE WALL  RETAINING WALL  STREAM / POND / WATER COURSE  DETENTION BASIN  HAY BALES  SILT FENCE  MINOR CONTOUR  MINOR CONTOUR  PARKING COUNT  MINOR CONTOUR  DARKING COUNT  MINOR CONTOUR  DARKING COUNT  MINOR CONTOUR  DARKING COUNT  MINOR CONTOUR  DARKING STALLS  DARKING COUNT  MINOR CONTOUR  DARKING COUNT  MINOR COMPACT PARKING STALLS  DOUBLE YELLOW LINE  SL STOP LINE  MATCHLINE  MATCHLINE  WATER METER  WATER METER  WATER WELL  LECTRIC MANHOLE  ELECTRIC MANHOLE  IN THAT HELEPHONE MANHOLE  TO THAT TELEPHONE MANHOLE  TO TRANSFORMER PAD  UTILITY POLE  GUY POLE  GUY POLE  GUY WIRE & ANCHOR  HAND HOLE  PB  PB  PB  PB  PB  PB  PB  PB  PB  P				HYD		SIAMESE CONNECTION
TREE LINE  WIRE FENCE  FENCE  FENCE  FENCE  STOCKADE FENCE  STONE WALL  RETAINING WALL  STREAM / POND / WATER COURSE  DETENTION BASIN  HAY BALES  SILT FENCE  SILT FENCE  MINOR CONTOUR  MAJOR CONTOUR  MAJOR CONTOUR  DARKING COUNT  TO PARKING STALLS  DYL  DOUBLE YELLOW LINE  SL  SL  STOP LINE  MATCHLINE  WATER METER  POST INDICATOR VALVE  WATER MELL  SOUTH AND INCIPATION OF THE METER  POST INDICATOR VALVE  WATER MELL  WATER MELL  STOP SAME MATCHLINE  WATER MELL  WAT		====	PATH	()	٥	FIRE HYDRANT
FENCE  FENCE  STOCKADE FENCE  STOCKADE FENCE  STONE WALL  RETAINING WALL  STREAM / POND / WATER COURSE  DETENTION BASIN  DETENTION BASIN  DETENTION BASIN  SILT FENCE  SILT FENCE  SILT SOCK / STRAW WATTLE  MINOR CONTOUR  MAJOR CONTOUR  DARKING COUNT  MAJOR CONTOUR  DYL  DOUBLE YELLOW LINE  SL  SILT STOP LINE  MATCHLINE  WATER WELL  GG  GAS GATE  GM  GM  GAS METER  BLECTRIC MANHOLE  ELLECTRIC		$\sim$	TREE LINE	•	⊡	WATER METER
STOCKADE FENCE STONE WALL  RETAINING WALL  STREAM / POND / WATER COURSE  DETENTION BASIN  HAY BALES  SILT FENCE  SILT SOCK / STRAW WATTLE  MINOR CONTOUR  MAJOR CONTOUR  DARKING COUNT  (10)  (10)  (10)  (10)  (10)  (11)  (11)  (11)  (12)  (12)  (13)  (14)  (15)  (16)  (17)  (17)  (18)  (1	×	- <del>×</del> × -	WIRE FENCE			POST INDICATOR VALVE
STONE WALL  RETAINING WALL  STREAM / POND / WATER COURSE  DETENTION BASIN  HAY BALES  SILT FENCE  SILT SOCK / STRAW WATTLE  MINOR CONTOUR  MAJOR CONTOUR  DYL  DYL  DOUBLE YELLOW LINE  SIL STOP LINE  CROSSWALK  GM GAS METER  GM GAS METER  ELECTRIC MANHOLE  EM ELECTRIC MANHOLE  ELECTRIC MANHOLE  LIGHT POLE  LIGHT POLE  TELEPHONE MANHOLE  TI TRANSFORMER PAD  UTILITY POLE  GUY POLE  HH	·····	•	FENCE	<b>(W)</b>	<b>(W)</b>	WATER WELL
STONE WALL  RETAINING WALL  STREAM / POND / WATER COURSE  DETENTION BASIN  HAY BALES  SILT FENCE  SILT FENCE  SILT SOCK / STRAW WATTLE  MINOR CONTOUR  MAJOR CONTOUR  DYL  DYL  DOUBLE YELLOW LINE  SIL STOP LINE  CROSSWALK  GAS METER  GAM  GAS METER  GAM  GAS METER  ELECTRIC MANHOLE  ELECTRIC MANHOLE  ELECTRIC MANHOLE  ELECTRIC MANHOLE  ELECTRIC MANHOLE  TELEPHONE MANHOLE  TI TRANSFORMER PAD  UTILITY POLE  GUY POLE  HH  HH  HH  HH  HH  HAND HOLE  PB  PB  PB  PULL BOX  MATCHLINE		-	STOCKADE FENCE	GG <b>○</b>	GG •	GAS GATE
RETAINING WALL  STREAM / POND / WATER COURSE  DETENTION BASIN  HAY BALES  SILT FENCE  SILT SOCK / STRAW WATTLE  MINOR CONTOUR  MAJOR CONTOUR  DAKEN MAJOR CONTOUR  DATE MAY BALES  MINOR CONTOUR  DATE MAY BALES  SILT SOCK / STRAW WATTLE  MINOR CONTOUR  DATE MAY BALES  MATCHLINE  MATCHLINE  MATCHLINE	00000	000000	STONE WALL	GM	~	GAS METER
STREAM / POND / WATER COURSE  DETENTION BASIN  HAY BALES  SILT FENCE  SILT SOCK / STRAW WATTLE  MINOR CONTOUR  MAJOR CONTOUR  DARKING COUNT  MAJOR COMPACT PARKING STALLS  DYL  DYL  DYL  DYL  DOUBLE YELLOW LINE  SL  STOP LINE  STREAM / POND / WATER COURSE  EM  EM  EM  ELECTRIC METER  LIGHT POLE  TELEPHONE MANHOLE  TI  TRANSFORMER PAD  UTILITY POLE  GUY POLE  GUY WIRE & ANCHOR  HH  HH  HH  HH  HH  HH  HH  HH  HH			RETAINING WALL			
DETENTION BASIN  HAY BALES  SILT FENCE  SILT SOCK / STRAW WATTLE  MINOR CONTOUR  MAJOR CONTOUR  DYL  DYL  DOUBLE YELLOW LINE  SL  SCROSSWALK  ELECTRIC METER  LIGHT POLE  TELEPHONE MANHOLE  TI TRANSFORMER PAD  MINOR CONTOUR  GUY POLE  GUY WIRE & ANCHOR  HH  HH  HH  HAND HOLE  PB  PB  PB  PB  PB  MATCHLINE  MATCHLINE		<u> </u>	STREAM / POND / WATER COURSE	EM	•	
HAY BALES			DETENTION BASIN	•		ELECTRIC METER
SILT FENCE  SILT FONE MAINTIGE  TELETHONE MAINTIGE  TRANSFORMER PAD  TRANS	0 0 0 0 0 0 0 0	• • • • • • • • •	HAY BALES	\$	·	LIGHT POLE
— 4 — MINOR CONTOUR — 20 — MAJOR CONTOUR  ① ① PARKING COUNT ① ① PARKING STALLS DYL DYL DYL DYL SL SI STOP LINE  MINOR CONTOUR  ○ ← GUY POLE  GUY WIRE & ANCHOR  HH HH HH HH P B PB	×	×	SILT FENCE	$\bigcirc$	● <sup>TMH</sup>	TELEPHONE MANHOLE
-44 MINOR CONTOUR  -2020 MAJOR CONTOUR  ① PARKING COUNT  ① COMPACT PARKING STALLS  DYL DYL DOUBLE YELLOW LINE  SL STOP LINE  CROSSWALK  UTILITY POLE  GUY POLE  GUY WIRE & ANCHOR  HH  HH  HH  HH  PB  PB  PB  PB  PB  PB  MATCHLINE	<pre>&lt;::::::&gt; ·</pre>	· c::::::> ·	SILT SOCK / STRAW WATTLE	T	T	TRANSFORMER PAD
MAJOR CONTOUR   O  O  O  O  O  O  O  O  O  O  O  O	A		NATIVOD CONTENTS	_	•	
10 10 PARKING COUNT  C10 COMPACT PARKING STALLS  DYL DYL DOUBLE YELLOW LINE  SL STOP LINE  CROSSWALK  GUY WIRE & ANCHOR  HHH HH HH HH P PB PB PB PB PB MATCHLINE  MATCHLINE		4		-0-	-	UTILITY POLE
TO THE PARKING COUNT  C10 COMPACT PARKING STALLS  DYL DYL DOUBLE YELLOW LINE  SL STOP LINE  CROSSWALK  THH HH HH HH HH HH HH HAND HOLE  PB PB PB  PULL BOX  MATCHLINE	—20— —	20	MAJOR CONTOUR	<u> </u>	<b>←</b>	GUY POLE
C(10) COMPACT PARKING STALLS  DYL  DOUBLE YELLOW LINE  SL  STOP LINE  CROSSWALK  STORE  CROSSWALK  HAND HOLE  PB  PB  PB  PB  MATCHLINE	10)	10	PARKING COUNT			GUY WIRE & ANCHOR
DYL DYL DOUBLE YELLOW LINE  SL SL STOP LINE  CROSSWALK  MATCHLINE		_		•	⊡	HAND HOLE
SL SL STOP LINE MATCHLINE  CROSSWALK	DYL	DYI			⊡ 5R	PULL BOX
CROSSWALK				Meto	hline	
	11111111111		STOP LINE	ivial	<u></u> '\	MATCHLINE
ACCESSIBLE CURB RAMP			CROSSWALK			
			ACCESSIBLE CURB RAMP			

VAN-ACCESSIBLE PARKING

	Abbreviations
Genera	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN 	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE LANE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
СВ	CATCH BASIN
СМР	CORRUGATED METAL PIPE
СО	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
НН	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION

METAL END SECTION

POLYVINYLCHLORIDE PIPE

POST INDICATOR VALVE

REINFORCED CONCRETE PIPE

TAPPING SLEEVE, VALVE AND BOX

PAVED WATER WAY

RIM ELEVATION

SEWER MANHOLI

UNDERGROUND

UTILITY POLE

### Notes

APPROPRIATE PERMITS.

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES
- SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND
- LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT). 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES
- WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.

(BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE [##] INCHES LOAM AND SEED.

- WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- 7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S
- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS NTENDED THE LOCATION FLEVATION AND SIZE OF THE LITILITY SHALL BE ACCURATELY DETERMINED. WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
  - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
  - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
  - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
  - A. WATER PIPES SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
  - B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
  - C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE
  - D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- 9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

### Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 3' FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE VERTICAL GRANITE CURB (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- 2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- 4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS

### **Existing Conditions Information**

- 1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC., AND FROM DEEDS AND PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB, INC. DURING SEPTEMBER 2016.
- 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD OF 1988.
- 3. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM GZA GEOENVIRONMENTAL, INC.

## Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- 2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- 3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT



101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770



Sunrise of Newton 431 Washington St Newton, Massachusetts

Designed by	Checked by

Special Permit Application March 3, 2017

Not Approved for Construction

Legend and **General Notes** 









101 Walnut Street PO Box 9151



Watertown, MA 02471

617.924.1770

# **Sunrise of Newton**

431 Washington St Newton, Massachusetts

Designed by WNM	CRQ
Issued for	Date

Special Permit Application March 3, 2017

Not Approved for Construction



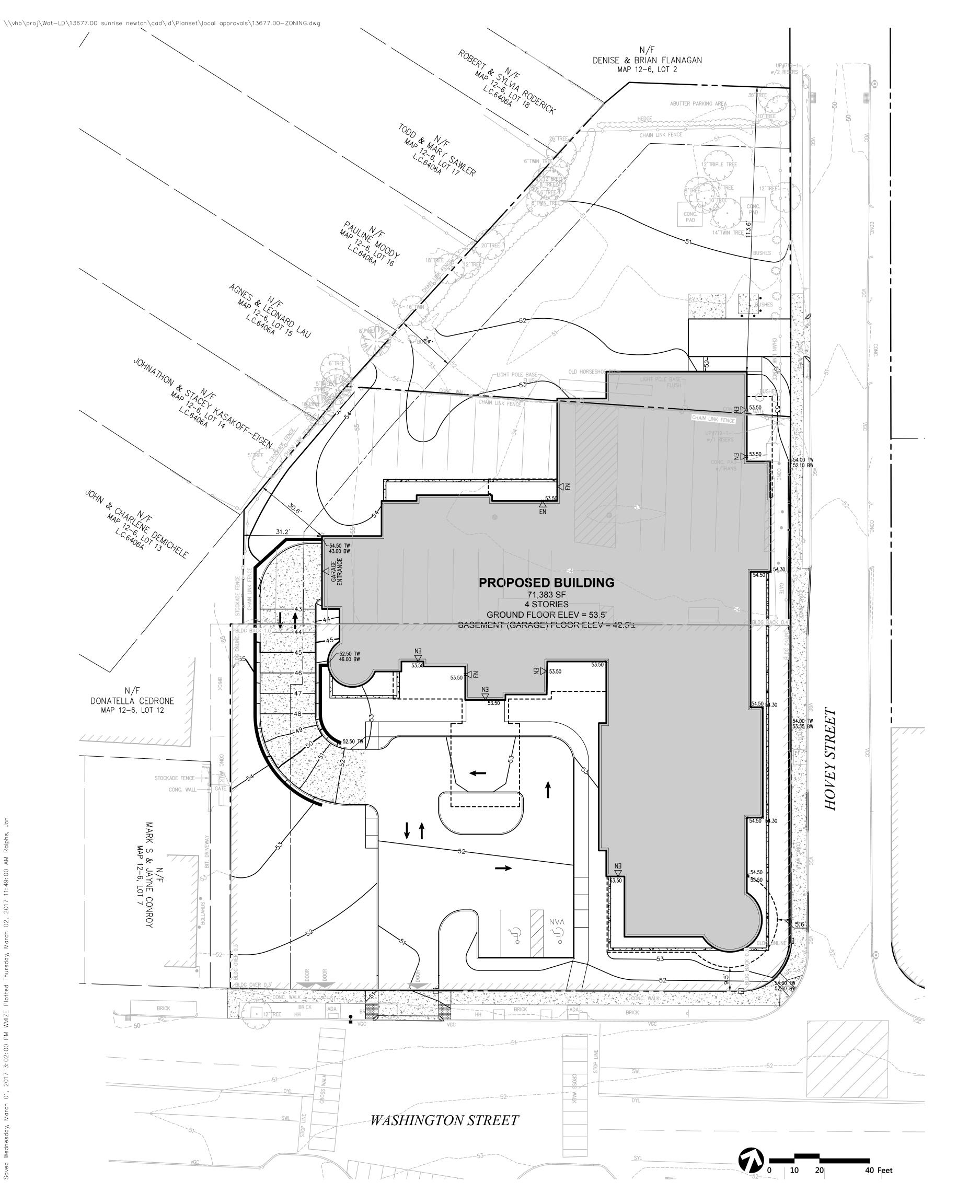


Project Number **13677.00** 



CURTIS R. QUITZAU CIVIL No. 42/93
Sheet of 3 11

0 10 20 40 Feet



## **Zoning Summary Chart**

Zoning District: BU2

Zoning District. BUZ		
Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA	10,000 SF	66,909 SF*
FRONTAGE	80.0 Feet	575.0 Feet
FRONT YARD SETBACK	0 Feet	5.6 Feet
SIDE YARD SETBACK	24 Feet	31.2 Feet
REAR YARD SETBACK	24 Feet	30.6 Feet
MAXIMUM FLOOR AREA RATIO	2.00	1.07
MAXIMUM BUILDING HEIGHT	48 Feet	47.4 Feet
* 3 PARCELS		

**Parking Summary Chart** 

	Size		Spaces	
Description	Required	Provided	Required	Provided
STANDARD SPACES	9 x 19	9 x 19	37	42
STANDARD ACCESSIBLE SPACES *	12 x 19	12 x 19	2	3
VAN ACCESSIBLE SPACES	12 x 19	12 x 19	1	1
TOTAL SPACES			40	46

\* ADA/STATE/LOCAL REQUIREMENTS

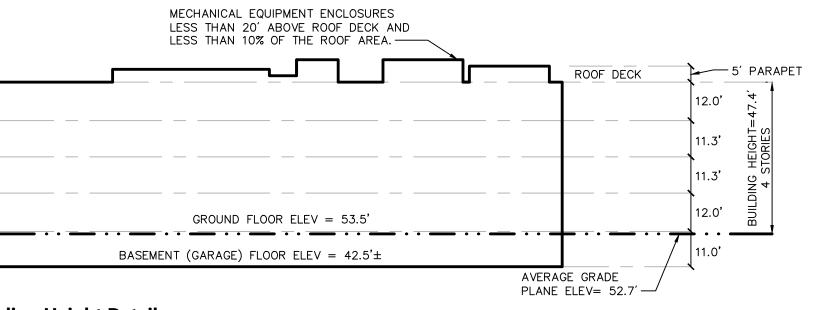
## Parking Requirements (By Bed Count):

STALLS PER BED	122 BEDS	Х	0.25 SPACES	/	BED	=	31 SPACES
SPACES PER EMPLOYEE	25 EMPLOYEES	х	0.33 SPACES	/	EMP	=	9 SPACES
			TOTAL PA	ARKING	G REQUIRED	=	40 SPACES

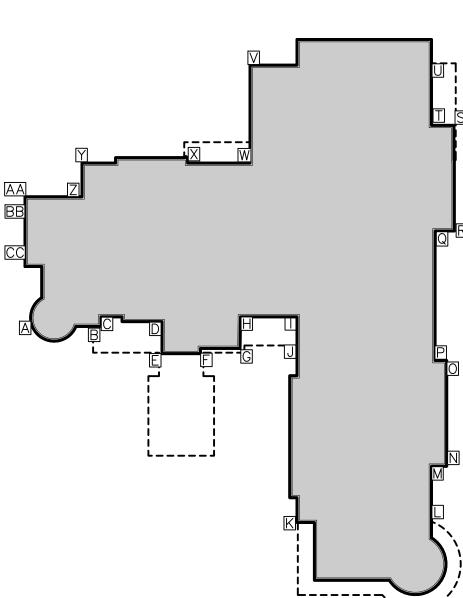


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**Building Height Detail**N.T.S.



Start Pt	End Pt	Start Elev	End Elev	Length (ft)	Avg Elev	Avg Elev x Length
Α	В	52.0	53.3	36.6	52.7	1,928
В	С	53.3	53.5	4.0	53.4	214
С	D	53.5	53.5	28.1	53.5	1,504
D	E	53.5	53.4	13.3	53.5	713
E	F	53.4	53.4	15.4	53.4	820
F	G	53.4	53.4	18.7	53.4	997
G	Н	53.4	53.5	13.7	53.5	730
Н	I	53.5	53.5	24.2	53.5	1,295
ı	J	53.5	53.4	12.3	53.5	656
J	К	53.3	52.6	79.9	53.0	4,228
K	L	53.4	53.4	113.3	53.4	6,052
L	М	53.4	54.0	22.5	53.7	1,208
М	N	54.0	54.0	6.3	54.0	342
N	0	54.0	54.0	43.4	54.0	2,341
0	Р	54.0	54.0	4.8	54.0	261
Р	Q	54.0	54.0	54.6	54.0	2,951
Q	R	54.0	54.0	7.8	54.0	423
R	S	54.0	54.0	43.4	54.0	2,341
S	Т	53.4	53.5	9.3	53.5	499
Т	U	53.5	53.5	26.2	53.5	1,401
U	V	52.6	52.6	95.2	52.6	5,009
V	W	53.1	53.5	40.8	53.3	2,175
W	Х	53.5	53.5	26.6	53.5	1,426
Х	Υ	52.6	53.5	47.9	53.1	2,541
Υ	Z	53.5	54.0	14.0	53.8	754
Z	AA	54.0	54.3	23.8	54.2	1,286
AA	BB	54.5	43.0	2.7	48.8	129
ВВ	СС	42.5	42.5	22.0	42.5	935
СС	А	43.0	45.5	34.1	44.3	1,507
			Tota	al Avg Elevati	on x Length	46,666

Total Length 884.9

Average Mean Grade Elevation 52.7

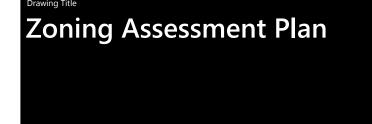
Weighted Average Grade Plane Calculation

# Sunrise of Newton

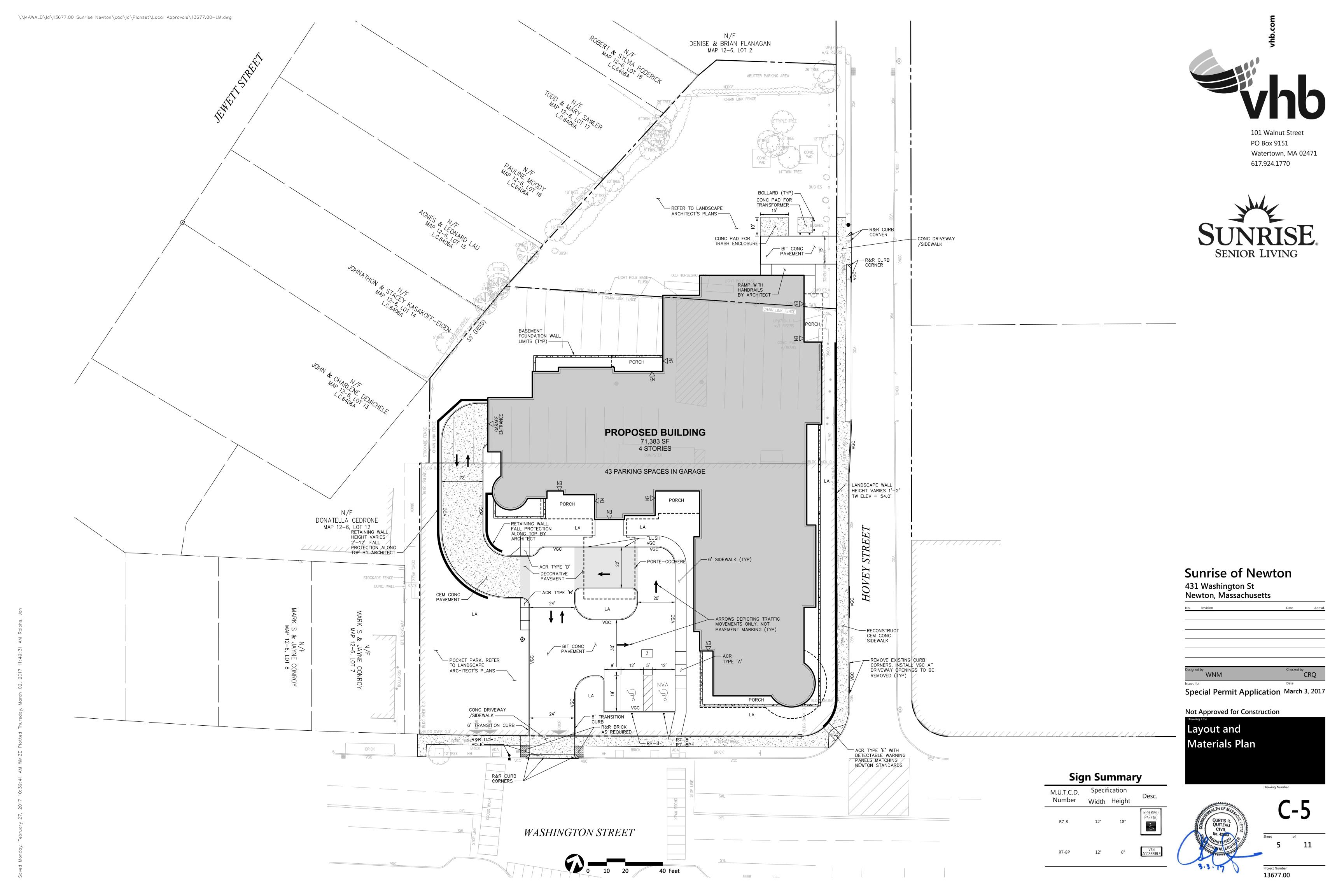
431 Washington St Newton, Massachusetts

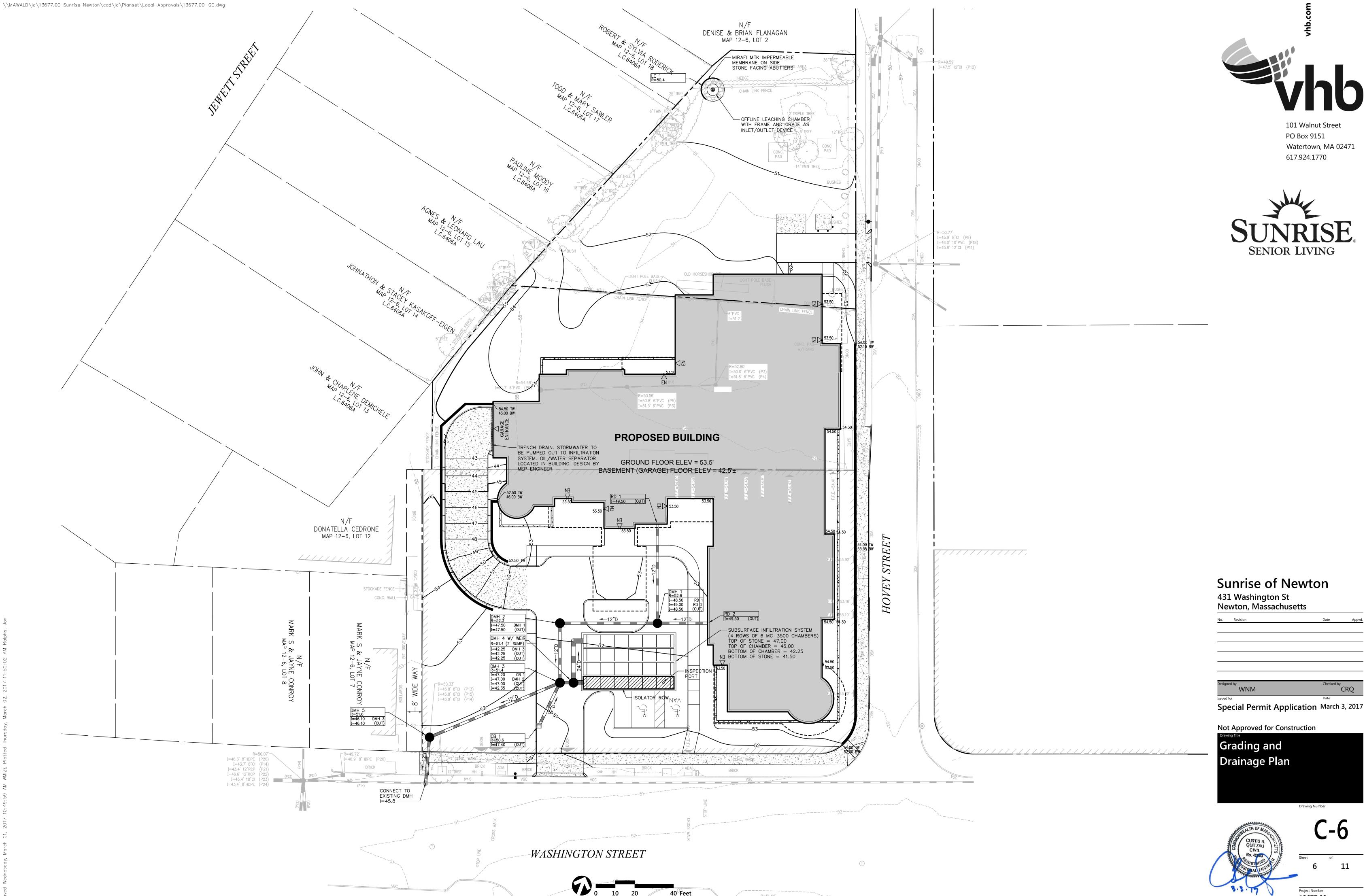
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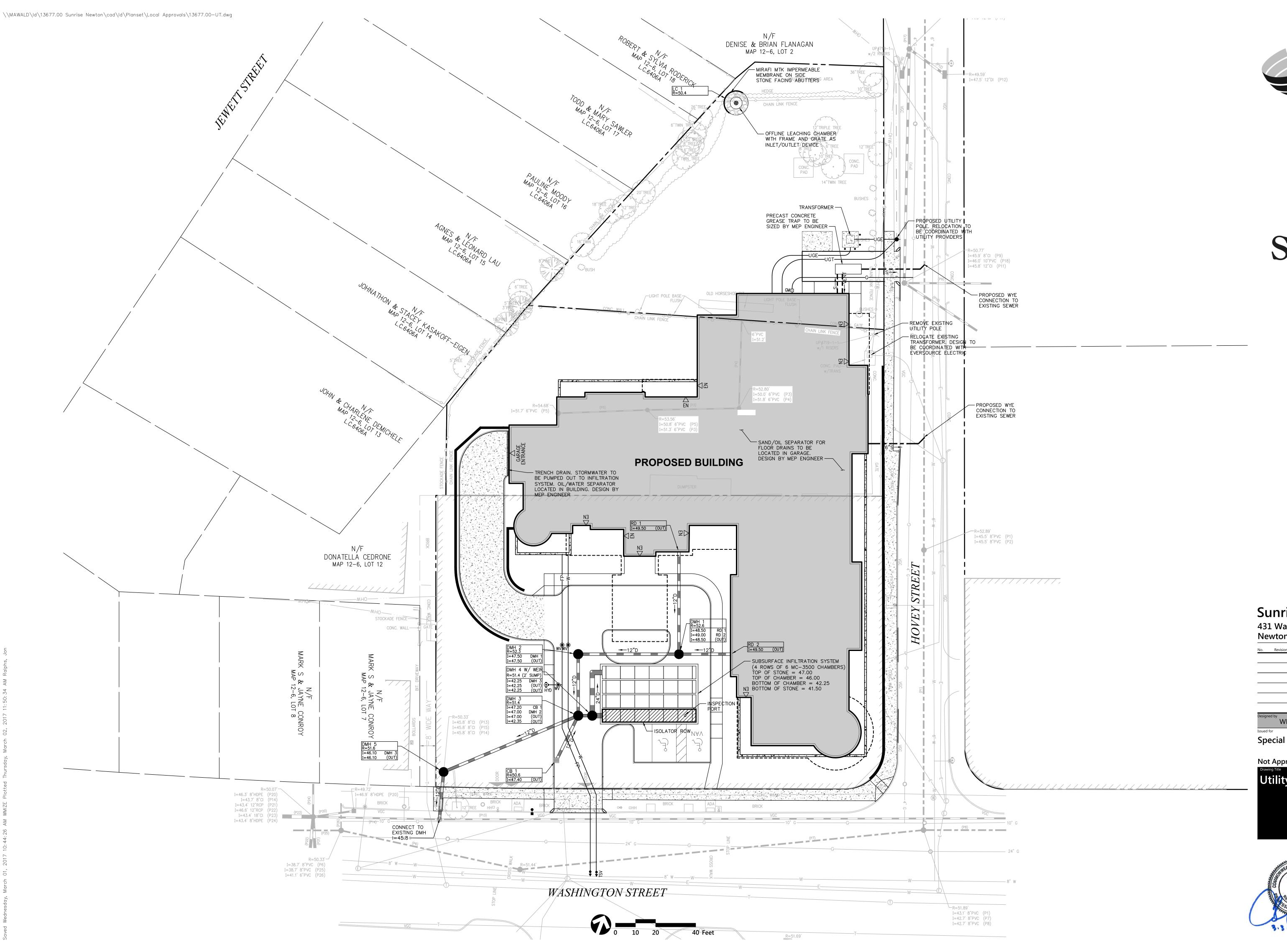


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# **Sunrise of Newton**







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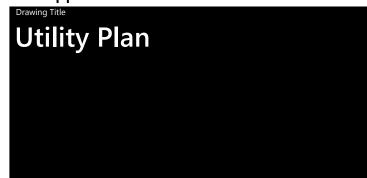


# **Sunrise of Newton**

431 Washington St Newton, Massachusetts

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## THE EROSION CONTROL MEASURES ON THIS PLAN SHOW TYPICAL APPLICATIONS TO PREVENT SEDIMENTATION AND EROSION, AND ARE PROVIDED AS A STARTING POINT FOR CONTRACTOR'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

## **General Requirements:**

- 1. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION, CONSTRUCTION MANAGER IS TO FILE CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONSTRUCTION MANAGER SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION, INSPECTION, AND REPAIR OF THE EROSION CONTROLS. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTION AND OPERATION OF THE STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF
- 3. THE CONTRACTOR SHALL LIMIT THE EXTENT OF DISTURBANCE AND STABILIZE SURFACES AS SOON AS POSSIBLE. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING (7 DAYS IF WITHIN 100 FEET OF A STREAM, POND OR WETLAND).
- 4. THE CONTRACTOR MAY ELECT TO CONSTRUCT TEMPORARY DIVERSION SWALES AND SETTLING BASINS IN PRESENTLY DISTURBED AREAS.
- 5. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (OFF-SITE AREAS, WETLAND RESOURCE AREAS, DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT AREAS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS, FILTERED CATCH BASIN INLETS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.
- 6. REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT BE CONDUCTED IN PROXIMITY TO CATCH BASINS.
- 7. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING BUILDING MATERIALS, IS ALLOWED.
- 8. NO MATERIALS SHALL BE DISPOSED OF INTO THE EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS, INCLUDING CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO DRAINAGE SYSTEMS.
- 9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, WHICH SHALL INCLUDE STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.
- 10. ALL SITE WORK SHALL BE STABILIZED AT THE END OF THE WORK DAY OR PRIOR TO ANTICIPATED CONDITIONS WHICH COULD CAUSE EROSION OR AIR-BORNE SEDIMENT PROBLEMS (I.E., RAIN, HIGH WINDS, EXPOSED SURFACES OR STEEP SLOPES).

### **Pre-Construction:**

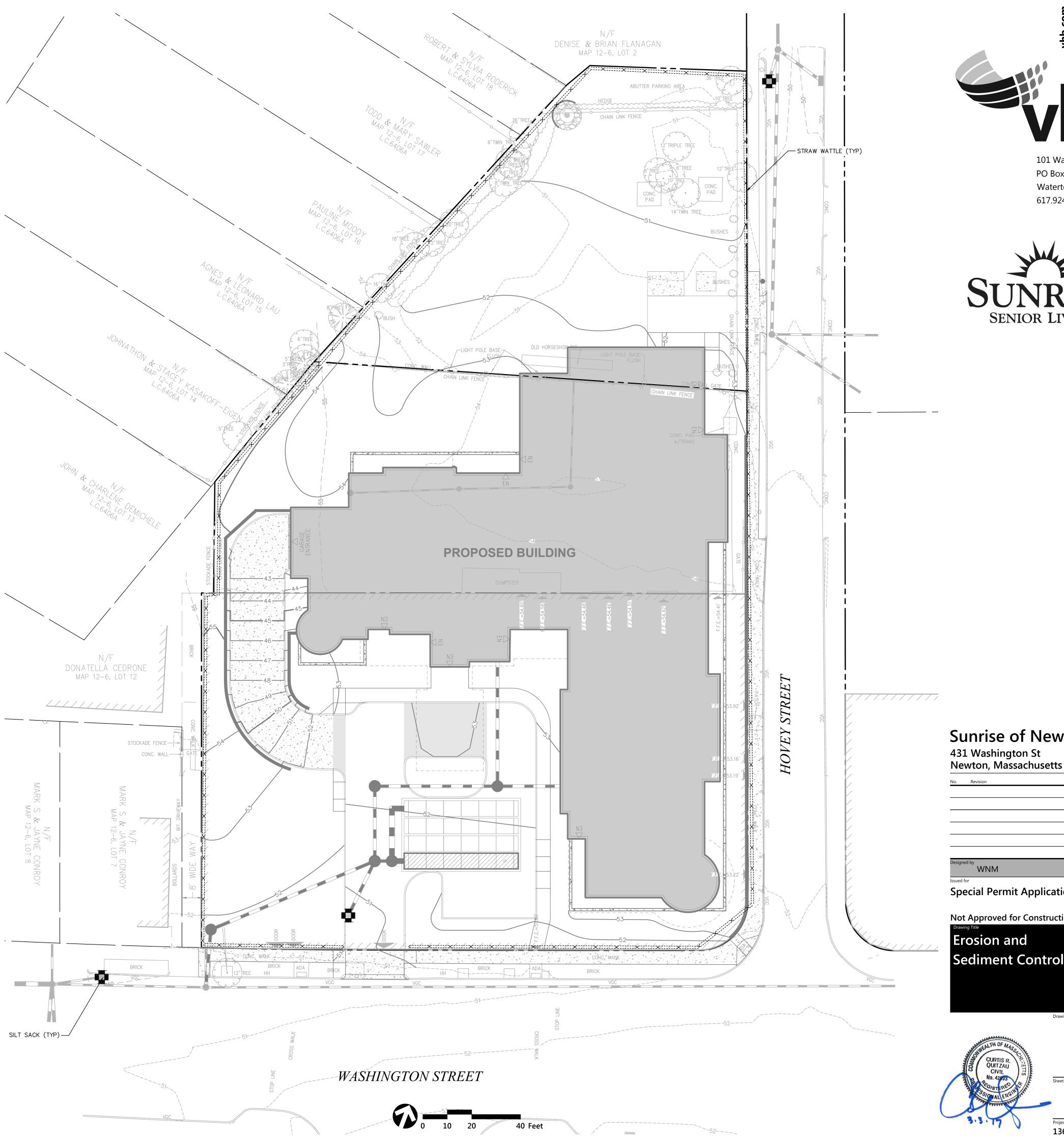
- 1. AN EROSION CONTROL BARRIER (SILT FENCE, STRAW WATTLE OR SILT SOCK) SHALL BE INSTALLED TO LIMIT THE AREA OF DISTURBANCE. THIS IS ESPECIALLY IMPORTANT ON PORTIONS OF THE SITE ADJACENT TO SENSITIVE AREAS. THESE BARRIERS SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. INSTALL EROSION CONTROL BARRIER TO AVOID EXISTING TREES AND UNDERBRUSH TO MAXIMUM EXTENT POSSIBLE.
- TEMPORARY STONE ACCESS AREAS SHALL BE ESTABLISHED AT THE DRIVEWAY ENTRANCES TO COLLECT ENTRAPPED SOILS AND SEDIMENT FROM CONSTRUCTION AND SERVICE VEHICLES ENTERING AND LEAVING THE SITE. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LADEN. THE CONSTRUCTION ENTRANCES SHALL BE LEFT IN PLACE UNTIL THE PERMANENT DRIVEWAY SURFACE IS
- 3. THE CONTRACTOR SHALL ESTABLISH STAGING AREAS WITHIN THE AREA OF DISTURBANCE FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
- 4. CONSTRUCTION MATERIALS SHALL BE PILED IN SUCH A MANNER AS NOT TO CONCENTRATE RUNOFF.
- 5. IN THE STAGING AREA, THE CONSTRUCTION MANAGER SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, STRAW BALES, SILT FENCE AND CRUSHED STONE.
- 6. THE CONSTRUCTION MANAGER IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED AND WHEN NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN OR IN CONDITIONS ISSUED BY PERMITTING AUTHORITIES.

## **Preliminary Site Work:**

- 1. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN MORE THAN THREE WEEKS. RUNOFF SHALL BE DIRECTED AWAY FROM STOCKPILES.
- 2. STOCKPILES SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE, IN AREAS OF MINIMAL IMPACT.
- 3. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.

## **Drainage System:**

- 1. THE DRAINAGE SYSTEM SHALL BE INSTALLED FROM THE DOWNSTREAM END UP. SEDIMENT SHALL NOT BE ALLOWED TO ENTER THE SYSTEM. UNTREATED RUNOFF SHALL NOT BE ALLOWED TO DIRECTLY ENTER DRAINAGE SYSTEM FROM UNSTABILIZED SURFACES.
- 2. FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS DURING CONSTRUCTION THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):
- INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SHALL BE EXCAVATED A MINIMUM OF 2' FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
- STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION BASIN(S)/STRUCTURE(S)
- CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
- EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
- THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.
- 3. SILT FENCES SHALL BE INSTALLED AT THE OUTFALLS OF ALL TEMPORARY BASINS AND SWALES. THEY SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY AREAS ARE STABILIZED.
- 4. UNTIL TRIBUTARY AREAS ARE STABILIZED FILTERED CATCH BASIN SILT SACKS SHALL COVER CATCH BASINS TO MINIMIZE SILTATION IN THE
- 5. TRENCH EXCAVATIONS SHALL BE LIMITED TO THE MINIMUM LENGTH REQUIRED FOR DAILY PIPE INSTALLATION. ALL TRENCHES SHALL BE BACKFILLED AS SOON AS POSSIBLE. THE ENDS OF PIPES SHALL BE BLOCKED NIGHTLY WITH PLYWOOD.
- 6. IF UNSTABLE AREAS ARE ENCOUNTERED DUE TO NATURAL SPRINGS OR GROUNDWATER BREAKOUT, INTERCEPTOR DRAINS SHALL BE INSTALLED TO DIRECT THE RUNOFF INTO THE DRAINAGE SYSTEM.
- 7. ALL SWALES MUST BE MAINTAINED AND KEPT FREE OF OBSTRUCTIONS TO ALLOW UNIMPEDED FLOW.
- 8. THE BINDER COURSE OF PAVEMENT WITH BERMS SHALL BE INSTALLED AS SOON AS FEASIBLE AS THIS AREA WILL FUNCTION AS A CONDUIT FOR RUNOFF.
- 9. IMMEDIATELY FOLLOWING PAVING THE SHOULDERS SHALL BE GRADED, LOAMED AND SEEDED AND MULCHED IF NECESSARY. ALL SURFACES SHOULD BE RAPIDLY AND THOROUGHLY STABILIZED TO THEIR FINAL CONDITION TO AVOID ENTRY OF SEDIMENTS IN THE DRAINAGE SYSTEM.
- 10. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.





101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770



**Sunrise of Newton** 431 Washington St

Special Permit Application March 3, 2017

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**Erosion and** Sediment Control Plan

STANDARD DUTY FLEXIBLE PAVEMENT

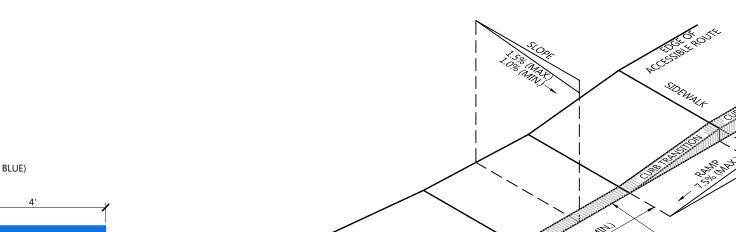
— 4" WITDH (PAINTED BLUE)

— ACCESS AISLE

24" ON CENTER

PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

**Bituminous Concrete Pavement Sections** 1/16 N.T.S. LD\_430



VERTICAL GRANITE CLUB —

SLOPE VARIES --

TREATMENT VARIES -

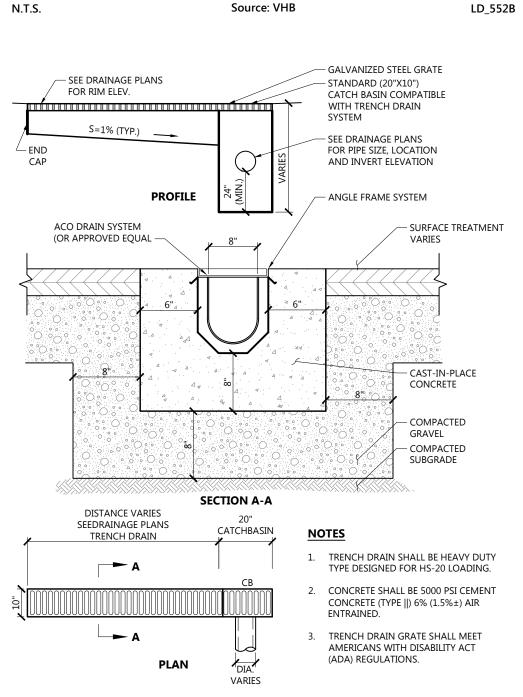
Trench Drain (Type A)

ACCESSIBLE PARKING

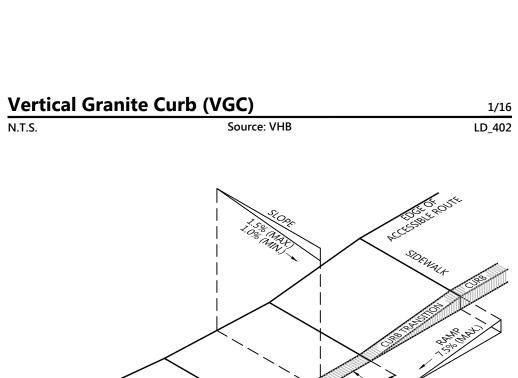
SEE DETAIL

- 1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
- 2. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
- 3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%. 4. ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT

**Accessible Parking Space** 



Source: VHB



— BIT. CONC. PAVEMENT

- TACK COAT

- 4000 PSI CEMENT

CONCRETE IF CURB IS PLACED AFTER

BINDER IS IN PLACE

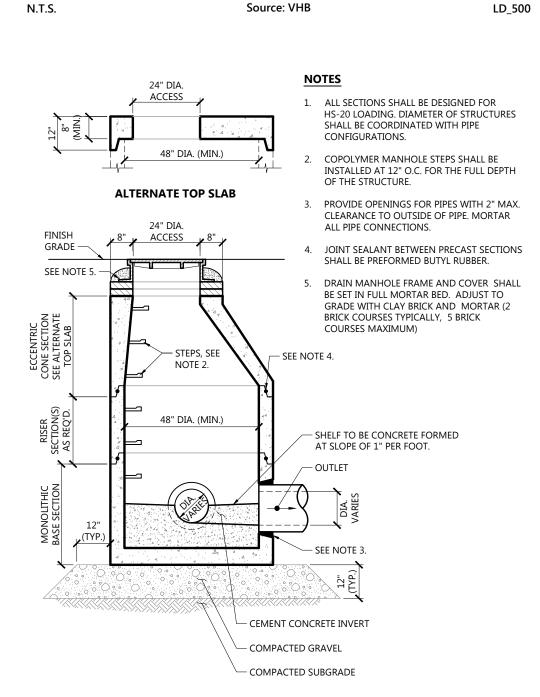
**GRAVEL BASE** 

- COMPACTED SUBGRADE

- BLUE SKID-RESISTANT

- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.). 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%%%.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION. 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
- 9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

Accessible Curb Ramp (ACR) Type 'A'

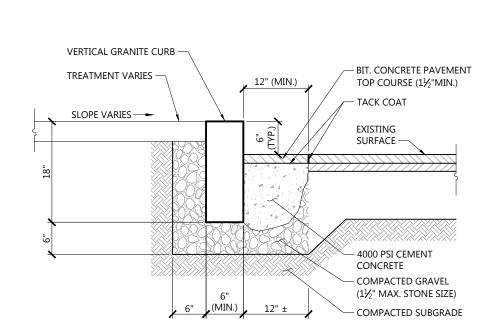


LD\_115

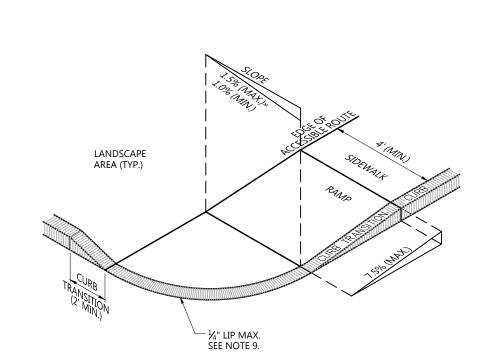
**Drain Manhole (DMH)** 

N.T.S.

LD\_190-A



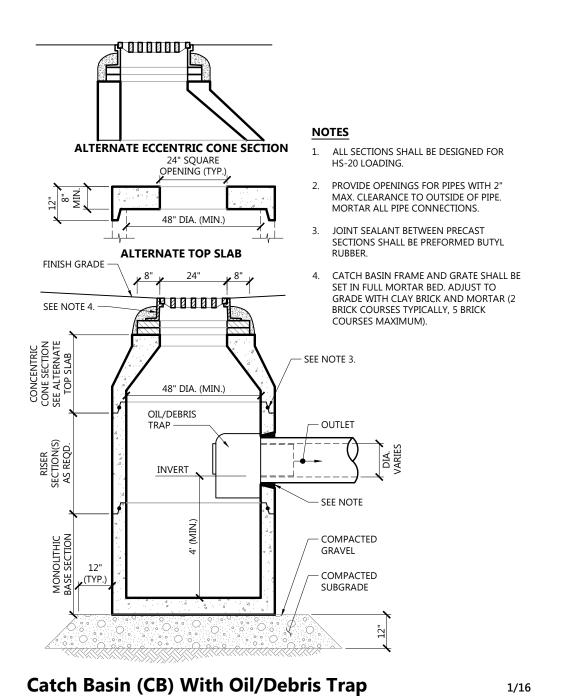
Vertical Granite Curb (VGC) Set In Existing Pavement 1/16 N.T.S.

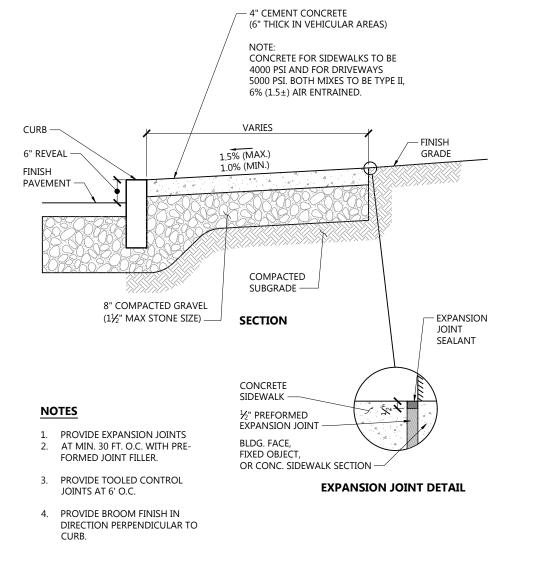


- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%. 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
- 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.

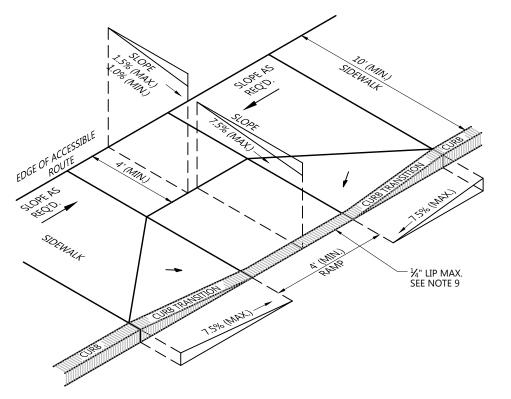
ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

Accessible Curb Ramp (ACR) - Type 'B LD\_501





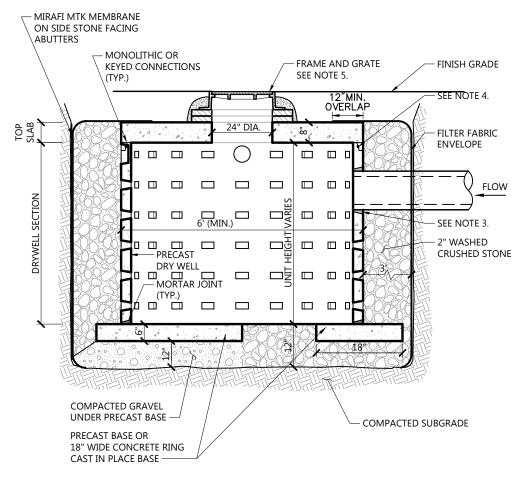
**Concrete Sidewalk** 1/16 N.T.S. Source: VHB LD\_420



- 1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
- 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- 6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION. 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.

9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

Accessible Curb Ramp (ACR) Type 'D' N.T.S. LD\_503



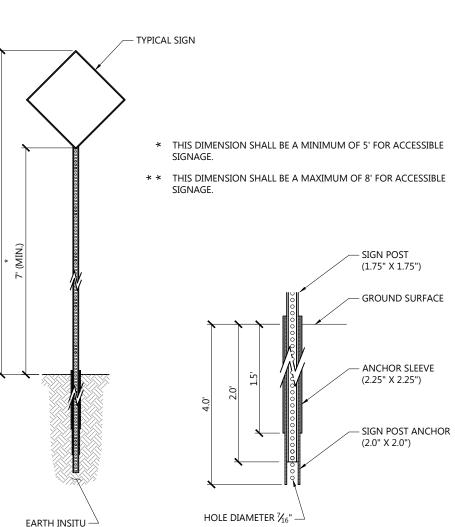
LD\_101

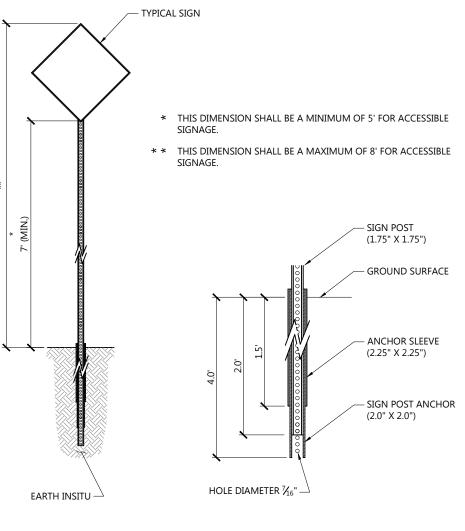
- 1. BASE SECTION SHALL BE PRECAST CONCRETE WITH MORTARED JOINTS OR CAST IN PLACE.
- ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
- 3. PROVIDE PRECAST OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.

AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)

4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER. 5. FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK

**Leaching Chamber (LC)** N.T.S. LD\_180 Source: VHB





Source: VHB

1.5% (MAX.) -1.0% (MIN.)

2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%

4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).

8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.

12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.

6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.

10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.

Accessible Curb Ramp (ACR) Type 'E'

11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.

N.T.S.

7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.

TRUNCATED DOMES — AREA OF COLORED SURFACE -/4 (MIN.) — ¼" LIP MAX.

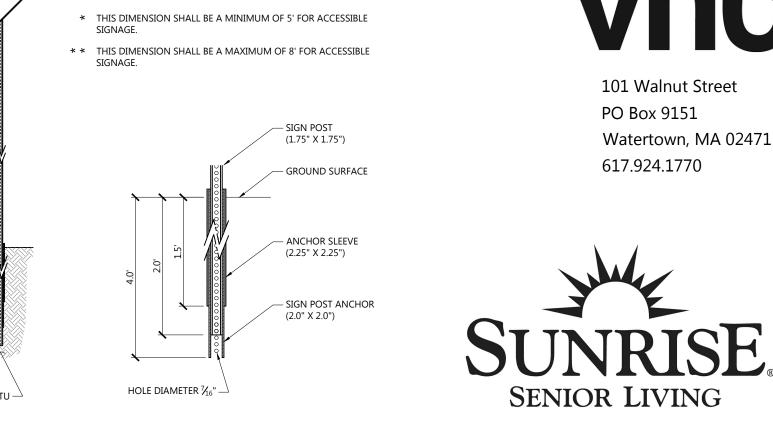
<u>\*</u> → ○ ○ ○

2.35" (TYP.)\*

TRUNCATED DOMES \*DIMENSIONS ARE CENTER TO CENTER

(PLAN VIEW)

Sign Post - Type 'B'



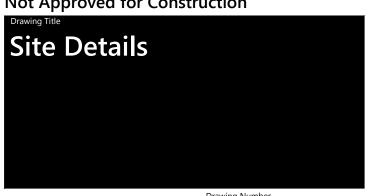
1/16

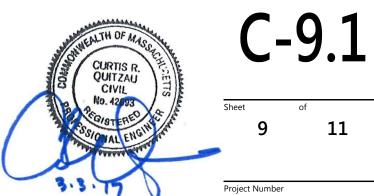
LD\_702



431 Washington St Newton, Massachusetts

Special Permit Application March 3, 2017



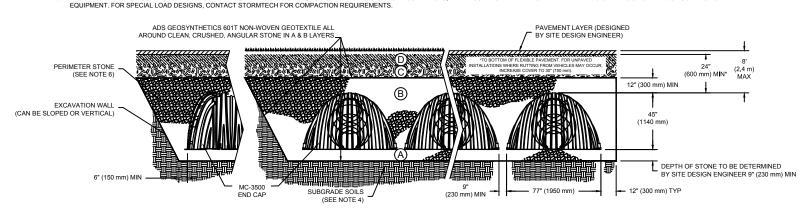


LEASE NOTE:

. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".

. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.

WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



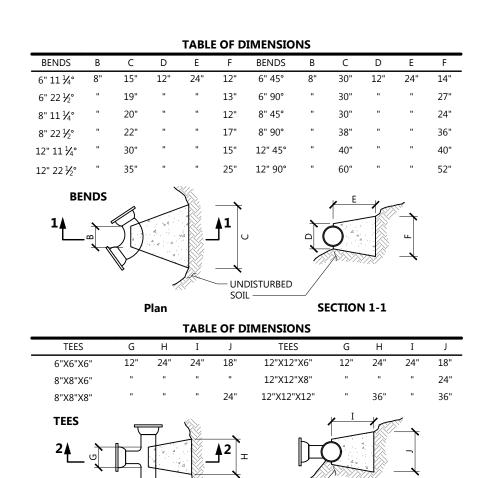
- 1. MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- 2. MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".

  3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS. 4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH
- CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

  5. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C'

## **MC-3500 Cross Section Detail**

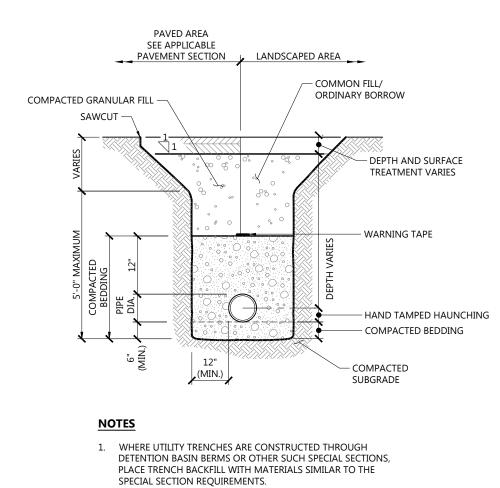
11/14 Source: Stormtech



1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.

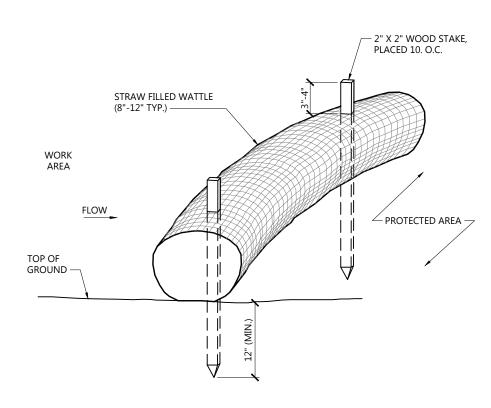
N.T.S.		Source: VHB	LD_260	N.T.S.
Concret	te Th	nrust Block	1/16	Utility Tren
	3.	CONCRETE SHALL BE 3,000 PSI-TYPE I.		
	2.	CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTI	NG.	

**SECTION 2-2** 



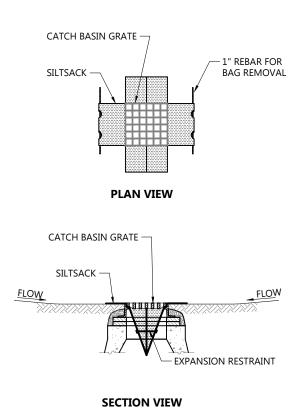


2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.



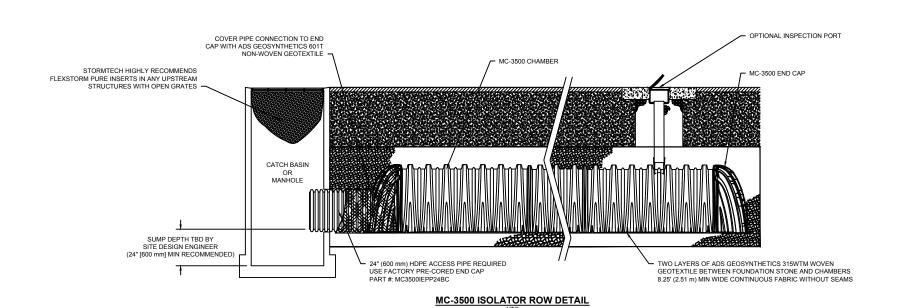
- 1. STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER OR
- 2. STRAW WATTLES SHALL OVERLAP A MINIMUM OF 12 INCHES.
- 3. STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY
- 4. TEMPORARY STRAW WATTLES TO BE REMOVED BY CONTRACTOR. ALL OTHERS TO REMAIN IN PLACE UNLESS DIRECTED OTHERWISE BY ENGINEER.
- 5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.





- 1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
- 2. GRATE TO BE PLACED OVER SILTSACK.
- 3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN

Siltsack Sedin	nent Trap	1/16
N.T.S.	Source: VHB	LD_674



## **INSPECTION & MAINTENANCE**

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT

  A. INSPECTION PORTS (IF PRESENT)

  A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN

  A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED

  A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG

  A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)

  A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

  B. ALL ISOLATOR ROWS

  B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW

  B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE

  i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY

  ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE

  B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS

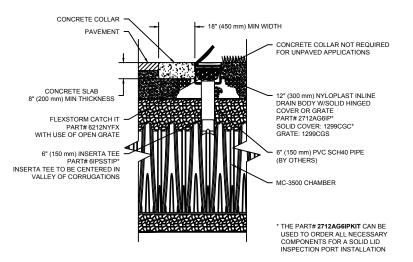
  A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED

  B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN

  C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

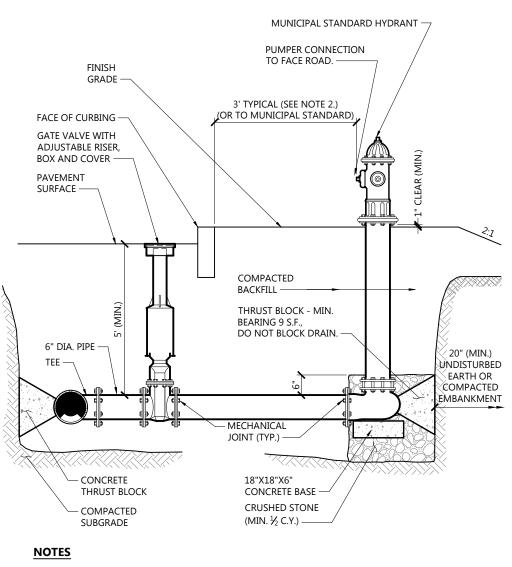
STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

 INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS. 2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



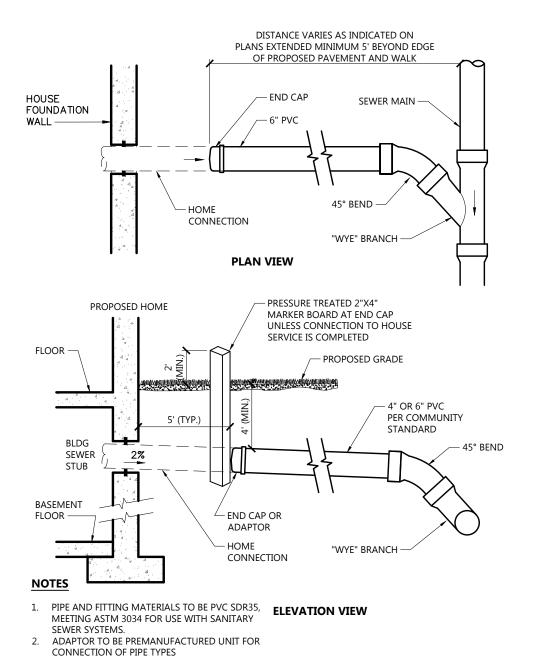
MC-3500 6" INSPECTION PORT DETAIL

MC-3500 Isolator Row Profile Detail 11/14 Source: Stormtech



- CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH
  AS SHOWN. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.
- 2. HYDRANT IN SIDEWALK AREAS TO BE LOCATED TO PROVIDE MINIMUM CLEAR SIDEWALK PASSAGE WIDTH OF 3 FEET AT HYDRANT.

Hydrant Cons	struction	1/
NTS	Source: VHB	ID 2



**Typical Wye Connection Detail (Residential)** 

LD\_223



101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770



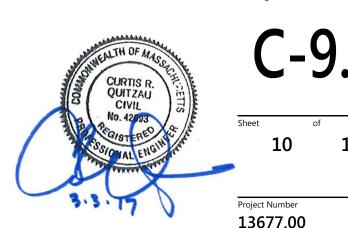
# **Sunrise of Newton**

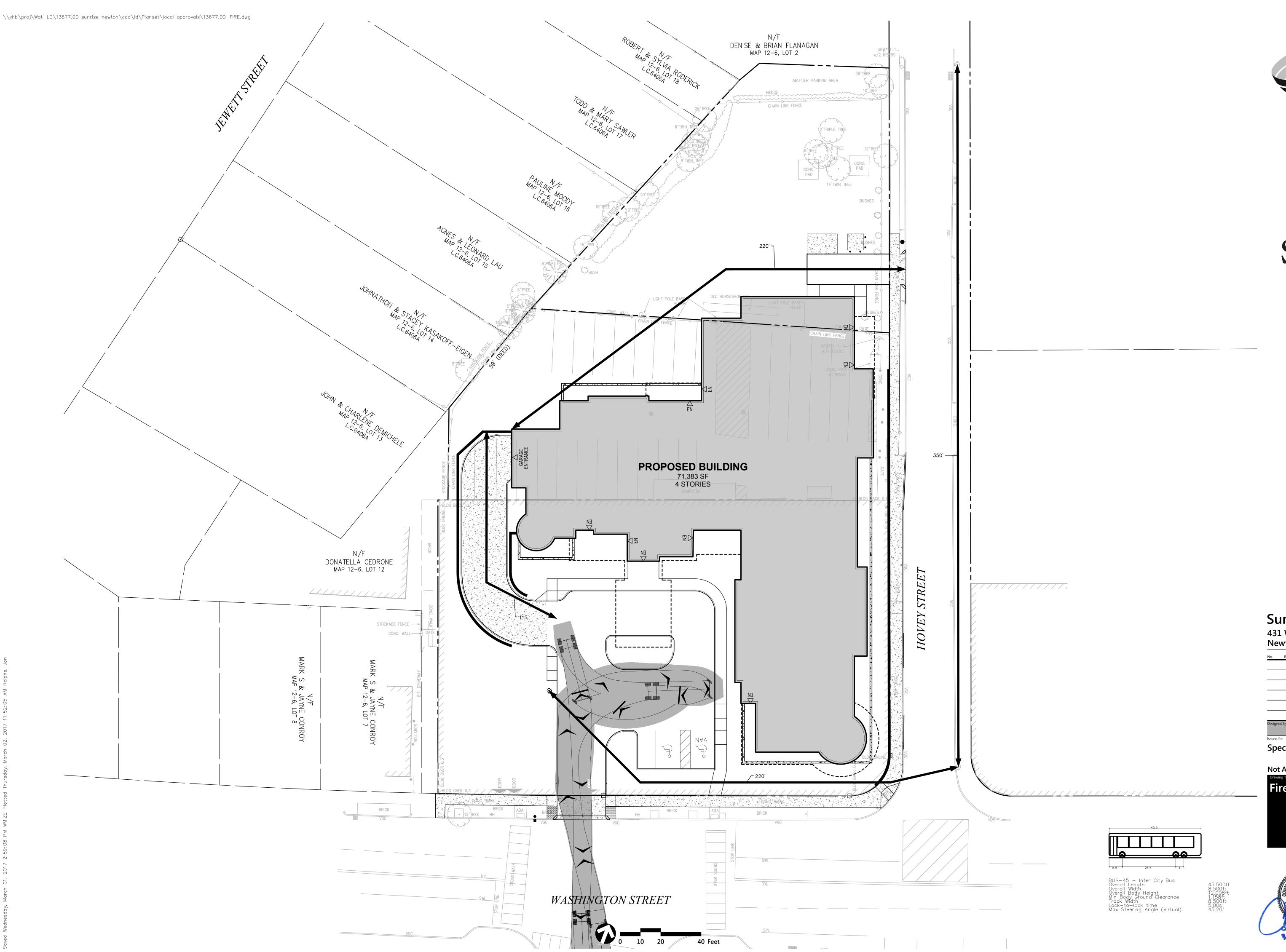
431 Washington St Newton, Massachusetts

Designed by WNM	Checked by CRQ

Special Permit Application March 3, 2017









101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



# Sunrise of Newton

431 Washington St Newton, Massachusetts

WNM	Checked by CRQ

Issued for Date

Special Permit Application March 3, 2017

Not Approved for Construction

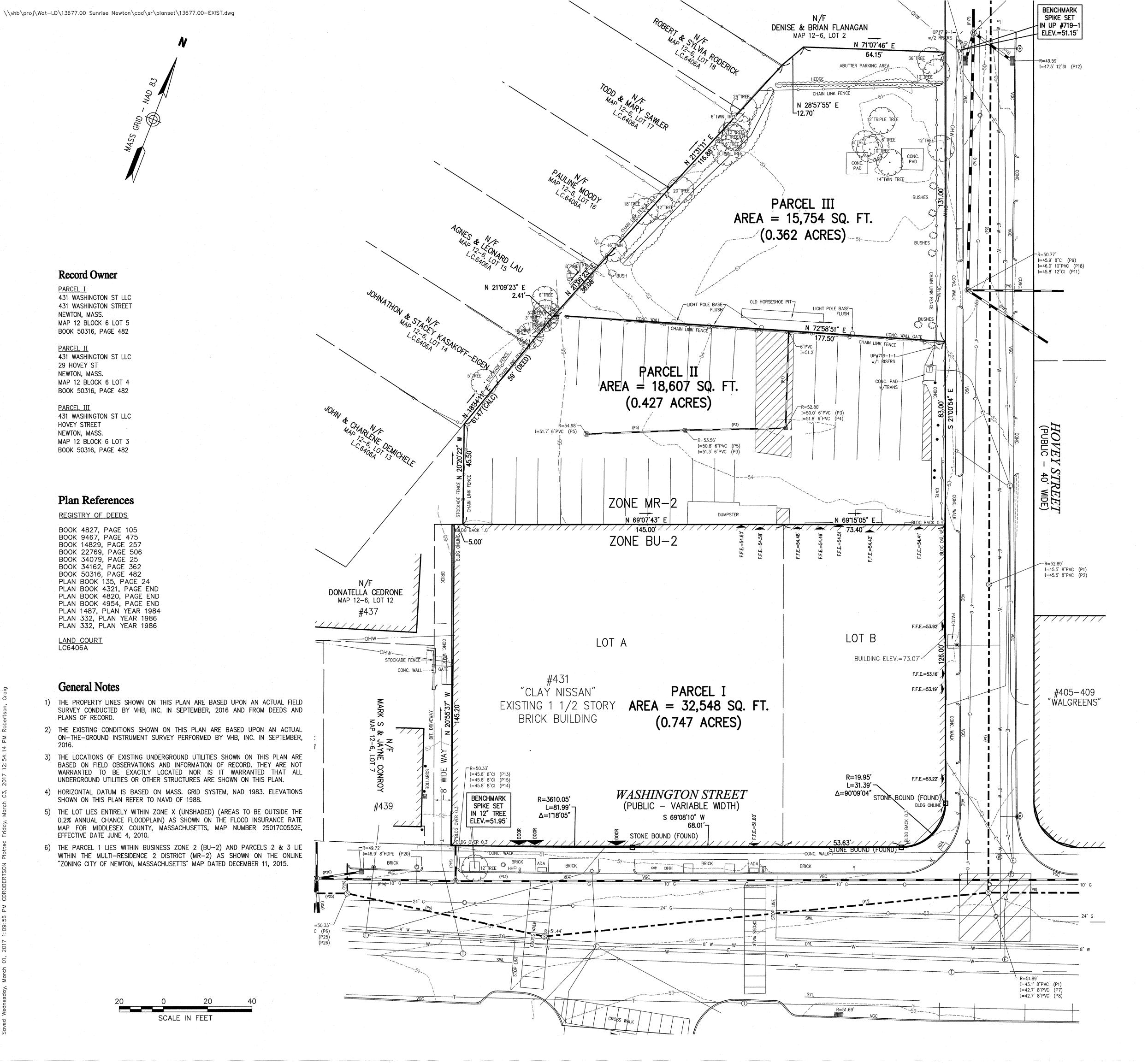


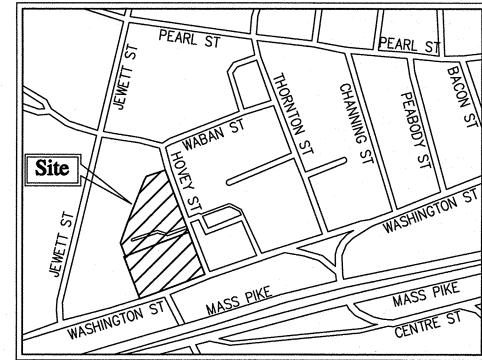
Drawing Number



umber

Project Number





Locus Map
(NOT TO SCALE)



101 Walnut Street PO Box 9151 Watertown, MA 02471 617.924.1770

## Legend DRAIN MANHOLE

**EXECUTE EXECUTE EXECU** S SEWER MANHOLE © ELECTRIC MANHOLE

① TELEPHONE MANHOLE HH HAND HOLE WATER GATEFIRE HYDRANT O GAS GATE **★** BOLLARD w/LIGHT

O UTILITY POLE GUY POLE GUY WIRE MONITORING WELL

- STREET SIGN

FLOOD LIGHT WELL WELL W MARSH F.F.E.=45.27

FINISHED FLOOR ELEVATION CNO COULD NOT OPEN NPV NO PIPES VISIBLE DYL DOUBLE YELLOW LINE DWL DASHED WHITE LINE SYL SINGLE WHITE LINE LSA LANDSCAPED AREA

--- EDGE OF PAVEMENT — CONCRETE CURB VERTICAL GRANITE CURB = SLOPED GRANITE EDGE BB BITUMINOUS BERM BITUMINOUS CURB

○ CHAIN LINK FENCE DRAINAGE LINE ----E ----- UNDERGROUND ELECTRIC T TELEPHONE LINE

-G---GAS LINE OOOOOO STONE WALL TREE LINE —100'BZ—— 100-FT BUFFER ZONE

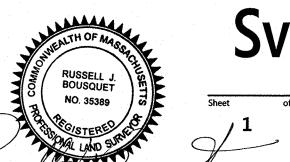
100'RA 100-FT RIVER FRONT AREA 200'RA 200-FT RIVER FRONT AREA LIMIT OF BANK
VEGETATED WETLAND BOUNDARY

# **Clay Nissan**

**Washington & Hovey Street** Newton, Massachusetts

October 12, 2016

**Existing Conditions** Plan of Land



13677.00