



APPLICANT

Sunrise Development, Inc.

7902 Westpark Drive

McLean, VA 22102

MARCH 3, 2017



Request for Zone Change and Special Permit Application/
Supporting Documentation

Sunrise of Newton



SUNRISE OF NEWTON – PROJECT TEAM

Applicant

Sunrise Development, Inc.
7902 Westpark Drive
McLean, VA 221102
703.273.7500

Legal Counsel

Schlesinger and Buchbinder, LLP
1200 Walnut Street
Newton, MA 02461
617.965.3500

Landscape

LSG Landscape Architecture
1775 Greensboro Station Place
Suite 110
Tysons, VA 22102
703.821.2045

Architect

JSA Inc.
273 Corporate Drive
Suite 100
Portsmouth, NH 03801
603.436.2551

Civil Engineer/Traffic Engineer/Survey

VHB
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Geotechnical

GZA GeoEnvironmental, Inc.
249 Vanderbilt Avenue
Norwood, MA 02062
781.278.3700

PROJECT NARRATIVE

Sunrise Development, Inc. (the "developer" or "Sunrise") is proposing to redevelop the site at the corner of Washington Street and Hovey Street in Newton Corner into a new elderly housing with services community which will incorporate 85 living units and 122 beds.

Sunrise has been in business for 35 years, and currently owns and/or manages 315 assisted living communities, 12 of which are in the Greater Boston area. It is currently the third largest senior living provider in the United States. Sunrise's approach to senior living is unique in that it caters to residents, as opposed to patients. That said, every resident has a dedicated care manager and each Sunrise community provides memory care services. Sunrise communities serve local needs as typically 70% of residents come from within five miles of a site. In terms of the elderly housing with services use, Newton is currently highly underserved.

Zone Change

The property consists of three lots. The first lot, 431 Washington Street, is located in a Business Use 2 zoning district and contains the existing Clay Nissan used car dealership. The remaining two lots, both located on Hovey Street, are located in a Multi-Residence 2 zoning district and contain an accessory parking lot for the used car business and open space. Sunrise is requesting a zone change for the two lots on Hovey Street from Multi-Residence 2 to Business Use 2.

The zone change in this case is appropriate as the existing lots are all owned in common ownership, and historically have been used to support a business use. From a practical perspective, it makes sense to have all three lots zoned uniformly for financing and other purposes.

Special Permit

A special permit is required for elderly housing with services pursuant to Sections 4.4.1 and 6.2.10.B of the Zoning Ordinance. In terms of dimensional standards, the applicant is seeking a special permit for: (1) a development of more than 20,000 square feet pursuant to Section 4.1.2.B.1; (2) a four-story building pursuant to Sections 4.1.2.B.3 and 4.1.3 (and the associated building height of up to 48' and floor area ratio of up to 2.0); (3) a retaining wall of greater than 4' located in a setback pursuant to Section 5.4.2.B and (4) a nonconforming front setback pursuant to Section 7.8.2.C.2.

Community Outreach

There has been significant community outreach to date with respect to this project. Two community meetings, organized under the auspices of the Ward 1 City Councilors, have been held at The West Suburban YMCA, the first on January 26, 2017, and the second on March 1, 2017. The first community meeting was attended by approximately forty individuals, and the second by approximately thirty-five individuals. Generally, the feedback has been positive.

Design

Sunrise is proposing a four story, masonry-clad building for the site. The building has been designed to complement the character of the immediate neighborhood. The design also incorporates substantial landscaping improvements and additional open space that will soften the existing streetscape and provide a more pedestrian-friendly environment. Two "pocket parks" which will be open to the public are proposed.

Based largely upon feedback from the community, the design has been modified in an attempt to break up the massing on Hovey Street, reduce the overall building size, and provide additional open space surrounding the building. In connection with the foregoing, the number of proposed living units has been decreased from 100 to 85. The reduced footprint and reorientation of the three outdoor parking stalls have also allowed the creation of a larger "pocket park" at the front of the site.

Parking

In terms of parking, the proposed project will provide 46 parking stalls on site. Section 5.1.4.A of the Zoning Ordinance provides that for an elderly housing with services facility, the parking requirement is 1 parking stall per every 2 dwelling units, 1 parking stall per every 4 nursing beds, and 1 parking stall per every 3 employees.

The proposed community will not have dwelling units as the same is defined under the Zoning Ordinance. Section 1.5.1.E defines "dwelling unit" as "one or more rooms forming a habitable unit for one family, with facilities used or intended to be used, in whole or in part, for living, sleeping, cooking, eating and sanitation." As the proposed units lack cooking facilities, they do not meet the definition of dwelling unit. Additionally, the proposed facility will not provide nursing beds as the facility will not provide skilled nursing care.

The Planning Department and the Chief Zoning Code Official have determined that basing the parking calculation on the number of beds and employees makes the most sense. Under this calculation, 40 parking stalls would be required. Since 46 parking stalls will be provided, the proposed facility does not require any parking waivers.

Traffic

The proposed elderly housing with services community is expected to result in a significant decrease in vehicle trips to the site. Additionally, Sunrise is committed to implementing Transportation Demand Management (TDM) measures on-site and providing signal improvements at the intersection of Washington Street at Church Street to include the entrance to the site.

Fiscal Impact

The proposed community is anticipated to have a positive fiscal impact for the City. Current projections anticipate an increase of approximately \$240,000 in annual property taxes to the City. The proposed community is also anticipated to generate 100-150 jobs during construction and 60-70 full-time equivalent jobs once the project is completed. There will be no impact on schools. Sunrise also contemplates making a substantial payment to the City in accordance with the inclusionary zoning ordinance (Section 5.11.11).

SPECIAL PERMIT APPLICATION

RECEIVED
Newton City Clerk

TO THE NEWTON CITY COUNCIL

The undersigned hereby makes application for a permit to erect and use, to alter and use, or to make such uses as may be hereinafter specified of a building, building addition, or building location and for the purpose hereinafter specified under the provisions of Chapter 30 of the Revised Ordinances, 2015, as amended, or any other sections..

PLEASE REFERENCE SECTION(S) OF THE ORDINANCES FROM WHICH RELIEF IS REQUESTED:

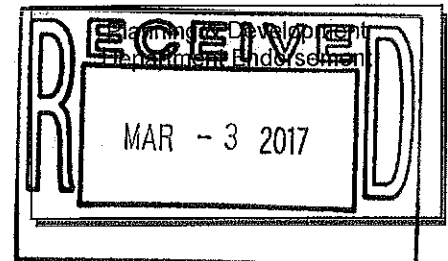
4.1.2.B.1.; 4.1.2.B.3.; 4.1.3; 4.4.1.; 5.4.2.B.; 5.11.11.; 6.2.10.; 6.2.10.B.; 7.8.2.C.2.; 7.3; 7.4

PETITION FOR: ☒ Special Permit/Site Plan Approval
☐ Extension of Non-Conforming Use and/or Structure
☒ Site Plan Approval

STREET 431 Washington Street, 29 Hovey Street, and unnumbered lot on Hovey Street WARD 1SECTION(S) 12 BLOCK(S) 006 LOT(S) 003, 004, and 005APPROXIMATE SQUARE FOOTAGE (of property) approximately 66,909 square feet ZONED BU-2 and MR-2TO BE USED FOR: elderly housing with servicesCONSTRUCTION: masonry building with steel frame construction

EXPLANATORY REMARKS: Special permit sought for: (1) elderly housing with services pursuant to Sections 4.4.1. and 6.2.10.B.; 2) development of more than 20,000 square feet pursuant to Section 4.1.2.B.1.; (3) four stories (and associated building height not to exceed 48 feet and FAR not to exceed 2.0) pursuant to Sections 4.1.2.B.3. and 4.1.3.; (4) a retaining wall of greater than 4' located in a setback pursuant to Section 5.4.2.B.; and (5) extension of a nonconforming structure as to front setback pursuant to Sections 4.1.3 and 7.8.2.C.2.

The undersigned agree to comply with the requirements of the Zoning Ordinance and rules of the Land Use Committee of the City Council in connection with this application.

PETITIONER (PRINT) Sunrise Development, Inc. BY ITS ATTORNEY J. BuchbinderSIGNATURE Stephen J. BuchbinderADDRESS 7902 Westpark Drive, McLean, Virginia 22102TELEPHONE N/A E-MAIL N/AATTORNEY Stephen J. Buchbinder, EsquireADDRESS 1200 Walnut Street, Newton, Massachusetts 02461-1267TELEPHONE 617-965-3500 E-MAIL sjbuchbinder@sab-law.comPROPERTY OWNER 431 Washington Street, LLCADDRESS 391 Providence Highway, Norwood, MA 02062TELEPHONE N/A E-MAIL N/ASIGNATURE OF OWNER Stephen J. Buchbinder, ATTORNEY FOR431 WASHINGTON STREET, LLC



City of Newton, Massachusetts

Department of Planning and Development

1000 Commonwealth Avenue, Newton, Massachusetts 02459

Telephone
(617) 796-1120

Telefax
(617) 796-1086
www.newtonma.gov

RECEIVED
Newton City (617) 796-1086

2017 MAR -3 PM 12:56

Setti D. Warren
Mayor

GENERAL PERMIT APPLICATION

David A. Olson, EMC
Acting Director
Newton, MA 02459

PROJECT #: _____ ZONING DISTRICT: BU-2 and MR-2 DATE RECEIVED: _____

PROJECT DESCRIPTION: elderly housing with services

PROPERTY LOCATION INFORMATION

STREET ADDRESS: 431 Washington Street, 29 Hovey Street, and unnumbered lot on Hovey Street

CITY/ZIP: Newton/02458

LEGAL DESCRIPTION (SECTION, BLOCK, LOT): Section 12, Block 006, Lots 003, 004, and 005

PROPERTY OWNER INFORMATION

NAME: 431 Washington Street, LLC PHONE: N/A ALT. PHONE: N/A

MAILING ADDRESS: 391 Providence Highway, Norwood, MA 02062 E-MAIL ADDRESS: N/A

PROPERTY OWNER CONSENT

I am (we are) the owner(s) of the property subject to this application and I (we) consent as follows:

1. This application for a land use permit or administrative approval for development on my (our) property is made with my permission
2. I (we) grant permission for officials and employees of the City of Newton to access my property for the purposes of this application.

X Stephen J. Buchbinder, Attorney F.R. 3-2-17
431 WASHINGTON STREET, LLC
(Property Owner Signature) (Date)

X _____
(Property Owner Signature) (Date)

NOTICE: The City of Newton staff may need access to the subject property during regular business hours and will attempt to contact the applicant/agent prior to any visit. Further, members of a regulatory authority of the city may visit the property as well.

APPLICANT/AGENT INFORMATION

NAME: Stephen J. Buchbinder, Esquire PHONE: 617-965-3500 ALT. PHONE: 617-538-7392

MAILING ADDRESS: 1200 Walnut Street, Newton, MA 02461-1267 E-MAIL ADDRESS: sjbuchbinder@sab-law.com

X Stephen J. Buchbinder 3-2-17
(Application/Agent Signature) (Date)

NOTICE: The applicant/agent is the primary contact and may be any individual representing the establishment or property owner. The applicant/agent must also be legally authorized to make decisions on behalf of the Property Owner(s) in regards to the application.

-----OFFICE USE ONLY BELOW THIS LINE-----

CHECK APPROPRIATE PERMIT OR REVIEW PROCESS (CHECK ALL BEING SUBMITTED)

<input type="checkbox"/> Zoning Review Application	<input type="checkbox"/> Comprehensive Permit
<input type="checkbox"/> Administrative Site Plan Review	<input type="checkbox"/> Variance Application
<input type="checkbox"/> Sign Permit	<input type="checkbox"/> Historic Preservation Review
<input type="checkbox"/> Special Permit/Site Plan Approval	<input type="checkbox"/> Conservation Commission Review
<input type="checkbox"/> Fence Appeal	<input type="checkbox"/> Other, describe _____

Comments: _____

PERMIT INTAKE INITIALS
AND DATE STAMP

GENERAL PERMIT APPLICATION INSTRUCTIONS

LAND USE PERMITTING CHECKLIST (City staff, check all that apply)

In most instances, any development or land disturbance activity within the City of Newton will require some type of review and approval from the Planning Department and one of the City's regulatory authorities. In all cases, this General Permit Application must accompany all land use permitting applications. A checklist of permit forms, by regulatory authority, is provided below:

Administrative

- ☐ Administrative Site Plan
- ☐ Review of Accessory Apartment
- ☐ Wireless Facility

Land Use Committee

- ☐ Amendment to Special Permit/Site Plan
- ☐ Extension of Nonconforming Use or Building
- ☐ Site Plan Only
- ☐ Special Permit/Site Plan

Conservation Commission

- ☐ Request for Determination of Applicability
- ☐ Notice of Intent
- ☐ Abbreviated Notice of Resource Area Delineation

Urban Design Commission

- ☐ Fence Appeal
- ☐ Sign Permit

Historic Commission(s)

- ☐ Demolition Delay
- ☐ Historic District
- ☐ Landmark/Preservation Restriction

Zoning Board of Appeals

- ☐ Appeals of the ISD Commissioner
- ☐ Comprehensive Permit
- ☐ Variance Application

NOTE: The Planning Department has many handouts that provide useful information regarding each of the permitting processes above. Petitioners should also be aware that approvals from other City or State agencies may be necessary as well.

APPLICATION COMPONENTS

For each permit application, the submission of inaccurate information or an incomplete application may delay the review and approval process for said permit. The items needed for a complete application will vary by permitting process, but generally include:

FORMS: A completed General Application and the project-specific permit application form. The signature of the Property Owner (or the Owner's legal representative) and the Applicant/Agent are mandatory on the General Permit Application.

FEES: To process any land use permit application, it must be submitted with the appropriate fee. The permit fee will vary by permitting process. All fees are subject to change, please contact the Department of Planning to verify the current fee.

SUBMITTALS: Each permit should also be accompanied by the necessary supporting documentation. The items needed to explain a project may vary, please refer to the permit application for the typical documents submitted for each permit application or contact a city planner. All applications should be submitted in hard and digital formats.

SUBMITTING THE APPLICATION

Bring the complete application to the Planning Department (at Inspectional Services customer service counter), on the second floor of City Hall at 1000 Commonwealth Avenue. A planner will review the application, answer any questions you may have and explain the next step of the permitting process.

If you have questions about an application or application process, please call the Department of Planning at (617) 796-1120 or visit the Planning Department, Monday-Friday: 8:30 a.m. to 5:00 p.m., and Tuesday 8:30 a.m. to 8:00 p.m.!

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

 **SCHLESINGER^{AND}
BUCHBINDER, LLP**
ATTORNEYS AT LAW
1200 WALNUT STREET
NEWTON, MASSACHUSETTS 02461-1267

STEPHEN J. BUCHBINDER
ALAN J. SCHLESINGER
LEONARD M. DAVIDSON
A. MIRIAM JAFFE
SHERMAN H. STARR, JR.
JUDITH L. MELIDEO-PREBLE
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OF COUNSEL
ROBIN GORENBERG

E-Mail: sjbuchbinder@sab-law.com

March 3, 2017

BY HAND

Ms. Nadia Khan
Clerk, Land Use Committee
Newton City Council
1000 Commonwealth Avenue
Newton, MA 02459-1449

Re: Petition of Sunrise Development, Inc./431 Washington Street,
29 Hovey Street, and Unnumbered Lot on Hovey Street

Dear Nadia,

In connection with the petitioner's request for a change of zone for the two Hovey Street parcels from Multi-Residence 2 to Business Use 2, as noted in my letter to you of even date herewith, I am enclosing a plan entitled "Zone Change Plan" dated March 3, 2017 by VHB, Inc. together with a legal description of the delineated area.

Please feel free to call me if you have any questions respecting the foregoing.

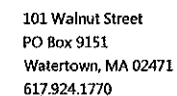
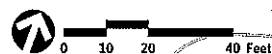
Sincerely,



Stephen J. Buchbinder

SJB/mer
enclosures

cc: (By Hand, w/enclosures)
Ms. Alexandra Ananth, Chief Planner
Ouida C. M. Young, Esquire, Associate City Solicitor
(By First Class Mail, w/enclosures)
Mr. Philip Kroskin



Sunrise of Newton
431 Washington St
Newton, Massachusetts

[illegible]

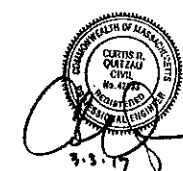
Designed by **WNM** Checked by **CRQ**

Special Permit Application March 3, 2017

Not Approved for Construction

Zone Change Plan

Deletion Number



C-3

Sheet of
3 11

Project Number
13677.00

March 3, 2017

Ref: 13677.00



LEGAL DESCRIPTION -- PROPOSED BU2 ZONE

A CERTAIN PARCEL OF LAND, COMPRISED OF TWO LOTS, LOCATED NORTH OF WASHINGTON STREET AND WEST OF HOVEY STREET IN THE CITY OF NEWTON, IN THE COUNTY OF MIDDLESEX AND THE COMMONWEALTH OF MASSACHUSETTS BEING SHOWN AS "PROPOSED BU2 ZONE" ON A PLAN ENTITLED "ZONE CHANGE PLAN", DRAWING C-3, DATED MARCH 3, 2017, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY SIDE OF HOVEY STREET, SAID POINT BEING N 21°00'54"W AND A DISTANCE OF ONE HUNDRED AND TWENTY-SIX AND NO HUNDREDTHS FEET (126.00') FROM A BOUND AT THE NORTHWESTERLY INTERSECTION OF HOVEY AND WASHINGTON STREETS BEING THE SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED; THENCE

S 69°15'05" W A DISTANCE OF SEVENTY-THREE AND FORTY HUNDREDTHS FEET (73.40') TO A POINT; THENCE

S 69°07'43" W A DISTANCE OF ONE HUNDRED FORTY-FIVE AND NO HUNDREDTHS FEET (145.00') TO A POINT; THENCE

N 20°20'22" W A DISTANCE OF FORTY-FIVE AND FIFTY HUNDREDTHS FEET (45.50') TO A POINT; THENCE

N 18°34'11" E A DISTANCE OF SIXTY-ONE AND FORTY-SEVEN HUNDREDTHS FEET (61.47') TO A POINT; THENCE

N 21°09'23" E A DISTANCE OF TWO AND FORTY-ONE HUNDREDTHS FEET (2.41') AND ON THE SAME BEARING A DISTANCE OF THIRTY-SIX AND EIGHT HUNDREDTHS FEET (36.08') TO A POINT; THENCE

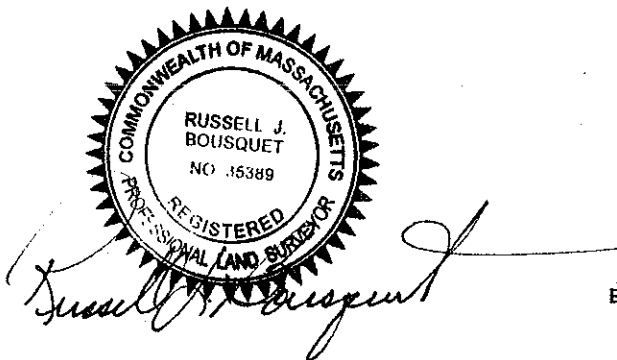
N 21°31'11" E A DISTANCE OF ONE HUNDRED SIXTEEN AND EIGHTY-EIGHT HUNDREDTHS FEET (116.88') TO A POINT; THENCE

N 28°57'55" E A DISTANCE OF TWELVE AND SEVENTY HUNDREDTHS FEET (12.70') TO A POINT; THENCE

N 71°07'46" E A DISTANCE OF SIXTY-FOUR AND FIFTEEN HUNDREDTHS FEET (64.15') TO A POINT; THENCE

S 21°00'54" E A DISTANCE OF ONE HUNDRED THIRTY-ONE AND NO HUNDREDTHS FEET (131.00') AND ON THE SAME BEARING A DISTANCE OF EIGHTY-THREE AND NO HUNDREDTHS FEET (83.00') BY THE WESTERLY SIDELINE OF HOVEY STREET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 34,361 SQUARE FEET OR 0.789 ACRES MORE OR LESS.



Engineers | Scientists | Planners | Designers

101 Walnut Street

PO Box 9151

Watertown, Massachusetts 02471

P 617.924.1770

F 617.924.2286



Setti D. Warren
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

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(617) 796-1120
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TDD/TTY
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www.newtonma.gov

Barney S. Heath
Director

ZONING REVIEW MEMORANDUM

Date: February 27, 2017

To: John Lojek, Commissioner of Inspectional Services

From: Jane Santosuosso, Chief Zoning Code Official
Alexandra Ananth, Chief Planner for Current Planning

Cc: Stephen J. Buchbinder, attorney
431 Washington Street, LLC
Barney S. Heath, Director of Planning and Development
Ouida Young, Associate City Solicitor

RE: Request for a zone change from MR2 to BU2, and a special permit to construct elderly housing with services and for associated dimensional waivers

Applicant: 431 Washington Street LLC	
Site: 431 Washington Street, 29 Hovey Street, 0 Hovey Street	SBL: 12006 0005, 12006 0004, 12006 0003
Zoning: BU2 and MR2	Lot Area: 66,909 square feet
Current use: Car dealership and parking	Proposed use: Elderly housing with services facility

BACKGROUND:

The subject site is comprised of three lots with a total area of 66,909 square feet. 431 Washington Street is at the corner of Washington and Hovey streets and is improved with an existing structure, used as a car dealership, which is nonconforming with regard to both front setbacks. The lot at 29 Hovey Street is used for accessory parking for the car dealership, and the remaining lot on Hovey Street is unimproved. The lot on Washington Street is zoned Business 2, while the two lots on Hovey Street are zoned Multi Residence 2.

The applicant proposes a zone change for the MR2 properties to make one large property zoned BU2. The intent is to raze the existing car dealership structure and construct a new elderly housing with services facility containing 85 living units with 122 beds in a four-story building of approximately 71,383 square feet. The proposed project will provide a total of 46 parking stalls on site.

The following review is based on plans and materials submitted to date as noted below.

- Zoning Review Application, prepared by Stephen J. Buchbinder, attorney, dated 1/4/2017
- Project Information, submitted 1/4/2017, revised 2/8/2017
- Notice of Variance, dated November 1961
- Zoning Review Plan Set, prepared by VHB, dated 1/3/2017, revised 2/22/2017
 - Area Plan
 - Zoning Assessment Plan, revised 2/6/2017
 - Existing Conditions Plan of Land, dated 10/12/2016
 - Basement/First Floor, dated 12/28/2016, revised 2/6/2017
 - Second/Third Floor, dated 12/28/2016, revised 2/6/2017
 - Exterior Elevations, dated 12/28/2016, revised 2/6/2017

ADMINISTRATIVE DETERMINATIONS:

1. The site is comprised of three properties. The property along Washington Street is zoned BU2, while the two lots on Hovey Street are zoned MR2. The applicant requests to rezone both Hovey Street properties to BU2.

The administrative determinations and relief requested by this application assume that the entire site is zoned BU2.

2. The applicant proposes to raze the existing building and construct a four-story building of approximately 71,383 square feet. Section 4.1.2.B.1 requires a special permit for any development in a Business district of 20,000 square feet or more of new gross floor area. The proposed construction approximately doubles the gross floor area from what currently exists.
3. The applicant proposes to construct a four-story structure at 47.4 feet in height. Section 4.1.2.B.3 requires a special permit for four stories or more in the Business 2 zoning district. The dimensional table found in 4.1.3 ties the maximum height and maximum FAR to the number of stories. A special permit allowing four stories legitimizes the proposed height and FAR.
4. The existing structure fronts both Washington Street and Hovey Street with a front setback of 0 feet on both streets. At the time the structure was constructed, there were no front setback requirements for buildings in Business zones. Section 4.1.3 requires a front setback established by averaging the existing front setbacks of the properties on either side of the property in question.

The existing front setback for the property at 405-409 Washington Street (Walgreens) is 0 feet, and is located in the BU2 zoning district. The other abutting property at 437 Washington Street is a pork chop lot with only five feet of frontage and a structure that is situated approximately 100 feet from the street behind the structure at 439 Washington Street. Given that the intent of the averaging provision to maintain a consistent streetscape, the Commissioner of Inspectional Services determined that the structure at 439 Washington Street, with a front setback of 7.3 feet, is to be used to determine the required setback the proposed building at 431 Washington Street. Averaging the abutting lots to 431 Washington Street produces a front setback requirement of 3.65 feet from Washington Street. The proposed front setback from Washington Street is 9.5 feet.

The existing structure has a 0 foot existing nonconforming front setback from Hovey Street. The abutting lot at 29 Hovey Street is vacant. Section 4.1.3 provides that in a Business district, a vacant

lot or a lot where a building is set back more than 10 feet is counted as though occupied by a building set back 10 feet. Presuming the lots on Hovey Street are rezoned to BU2, a 10 foot setback is used for this parcel. There is no abutting property to the other side of 431 Washington Street along Hovey, as it is a corner lot on Washington with the MA Pike across the street. Thus, a 10 foot setback is used for the other side as well, creating a 10 foot setback requirement for the proposed building along Hovey Street. The applicant proposes a front setback from Hovey Street of 5.6 feet, where 10 feet is required and no front setback exists with the current structure. To extend the nonconforming front setback along Hovey Street, a special permit is required per Section 7.8.2.C.2.

5. The applicant proposes to construct an elderly housing with services facility. Per section 6.2.10, an elderly housing with services facility is defined as “elderly housing with services, including residential care facilities, assisted living facilities and congregate care facilities.” Section 4.4.1 requires a special permit for elderly housing with services in the BU2 zoning district.
6. A retaining wall varying in heights up to approximately 12 feet is proposed within approximately 5 feet the western boundary line of the property to accommodate the entrance to the below grade parking. Per section 5.4.2.B, a special permit is required for a retaining wall in excess of 4 feet in a setback.
7. The facility will contain 85 living units with 122 beds. Each living unit will contain sleeping and sanitary facilities, but no separate individual cooking facilities. Per Section 1.5.1.E, a dwelling unit is defined as “one or more rooms forming a habitable unit for one family, with facilities used or intended to be used, in whole or in part, for living, sleeping, cooking, eating and sanitation.” As the units will lack cooking facilities, they do not meet the definition of a dwelling unit.
8. The applicant proposes to construct 46 parking stalls on site, with 43 located in the proposed underground garage and three surface stalls. Per Section 5.1.4.A, an elderly housing with services facility requires one parking stall per every two dwelling units, one per every four nursing beds, plus one stall per three employees. As stated, the proposed facility will not have “dwelling units” as defined by the Ordinance, as each unit will not provide independent cooking facilities. Nor will the units provide nursing beds, as the facility will not provide skilled nursing care. However, for the purposes of determining the parking requirement, the number of beds and employees will be used, as there are no dwelling units. The parking requirement for 122 beds and 25 employees at the busiest shift is 40 stalls. As 46 stalls are provided, no waiver from the number of parking stalls is required.
9. Section 5.11.11 requires that Elder Housing with Services meet certain requirements of the Inclusionary Housing provisions. This contribution may be residential units or beds, or a cash payment.

BU2 Zone	Required	Existing	Proposed
Lot Size	10,000 square feet	66,909 square feet	No change
Frontage	80 feet	575 feet	No change
Setbacks <ul style="list-style-type: none"> • Front (Washington St) • Front (Hovey St) • Side • Rear 	3.65 feet 10 feet 24 feet 24 feet	0 feet 0 feet +/- 0 feet +/- 0 feet	9.5 feet 5.6 feet 31.2 feet 30.6 feet
Total Gross Floor Area			71,383 square feet
Building Height	48 feet		47.4 feet
Max Number of Stories	4		4
FAR	2.0		1.07

Zoning Relief Required		
<i>Ordinance</i>	<i>Required Relief</i>	<i>Action Required</i>
	Request to rezone parcels to BU2	
§4.4.1 §6.2.10	To allow an Elder Housing with Services facility	S.P. per §7.3.3
§4.1.2.B.1	Development of 20,000+ square feet of gross floor area	S.P. per §7.3.3
§4.1.2.B.3 §4.1.3	To allow a building with four stories	S.P. per §7.3.3
§4.1.3, §7.8.2.C.2	To extend a nonconforming front setback	S.P. per §7.3.3
§5.4.2.B	To allow a retaining wall in excess of 4 feet in a setback	S.P. per §7.3.3
§5.11.11	Inclusionary housing provisions	S.P. per §7.3.3

PARKING CALCULATION

1 parking stall per every 4 beds plus 1 parking stall per every 3 employees

-Total number of Beds: 122

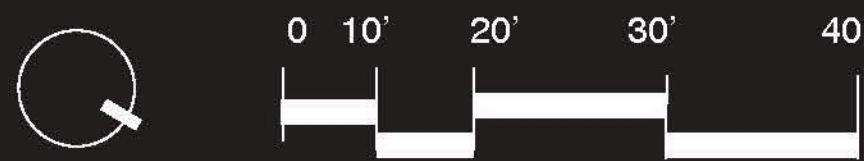
-Total number of Employees: 25

$$(122 \text{ beds} / 4) + (25 \text{ employees} / 3) = 31 + 9 = 40 \text{ parking stalls}$$

Since 46 parking stalls (3 outside and 43 in the proposed underground garage) will be provided, the proposed facility will have sufficient parking.

Master Plan

- A URBAN POCKET PARK
- B SCREEN WALL 6'
- C FOCAL POINT
- D RAMP TO GARAGE
- E FENCE 6'
- F PLANTER WALL
- G PLANTER
- H DROP OFF
- I FLAG
- J BRICK PIER WITH MAIN SIGN
- K COVERED PORCH
- L FENCE 3'
- M PRIVATE SEATING
- N EXISTING WOODED AREA
- O GAZEBO
- P BERM
- Q NATURAL PLAY JUMPING LOGS, BALANCE BEAM, CLIMBING NET, AND SLIDE
- R LABYRINTH
- S GATE CLOSED AFTER DARK
- T TRASH ENCLOSURE
- U TRANSFORMER



Precedent Design Images



Sunrise of Newton



Sunrise of Newton



Sunrise of Newton

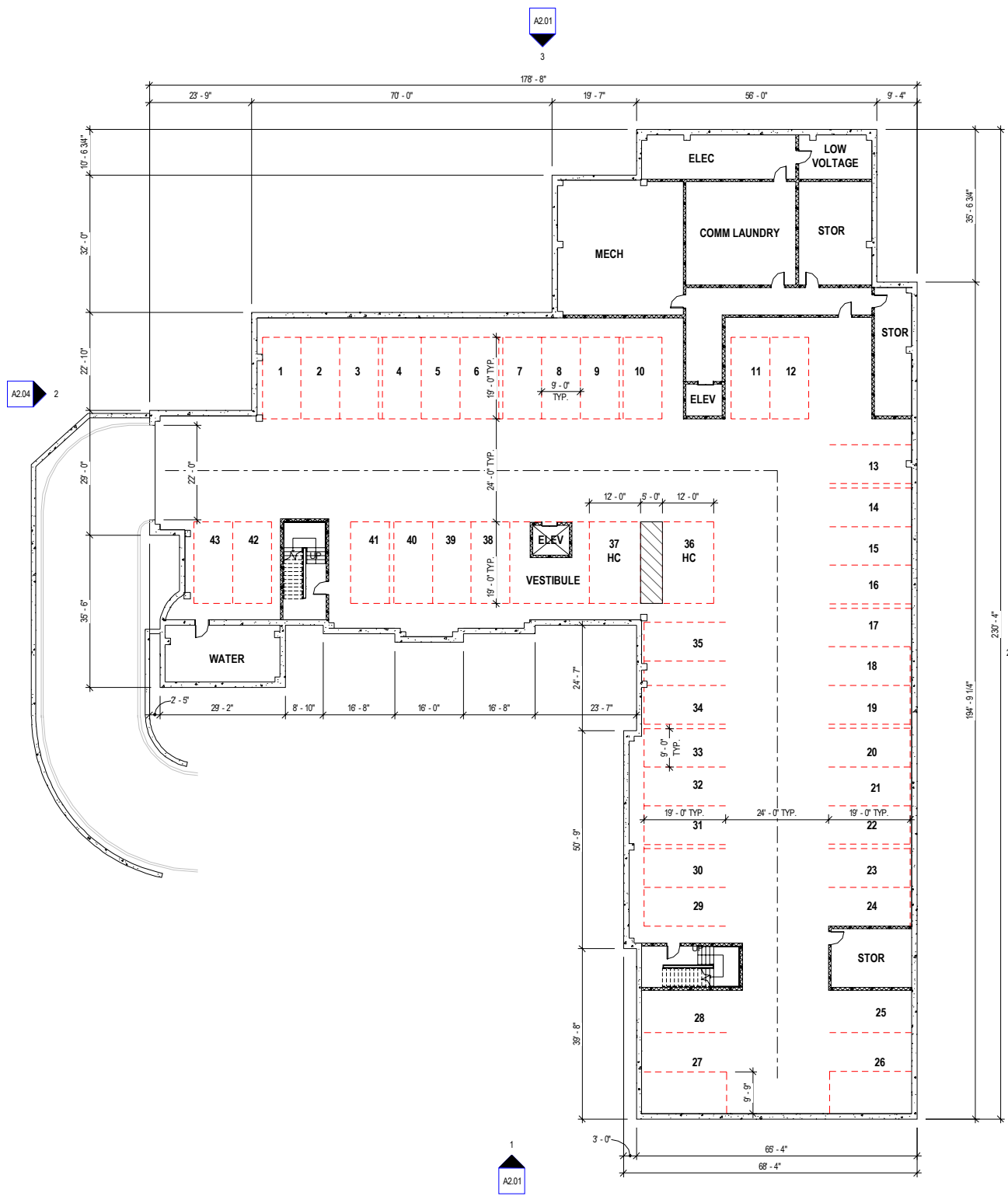




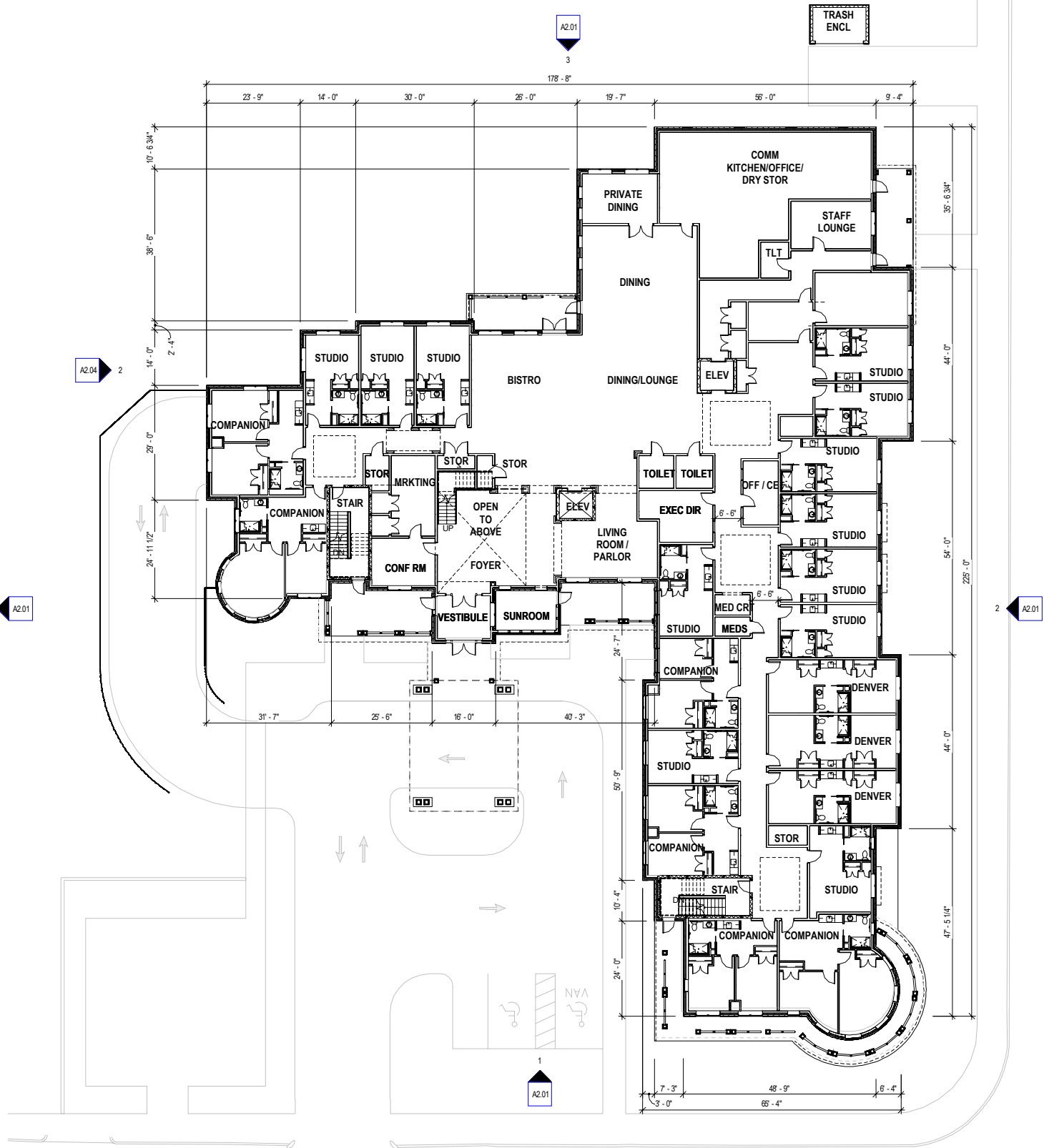
Sunrise of Newton



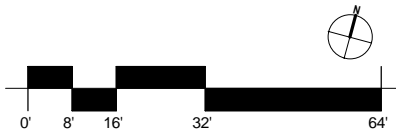
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1 PARKING LEVEL OVERALL PLAN
1/16" = 1'-0"



2 FIRST FLOOR OVERALL PLAN
1/16" = 1'-0"



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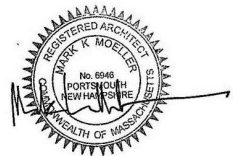
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SUNRISE OF NEWTON

WASHINGTON & HOVEY STREETS
NEWTON, MA 02458



Scale: 1/16" = 1'-0"
Date: 964.00
Project Number: 3/3/2017

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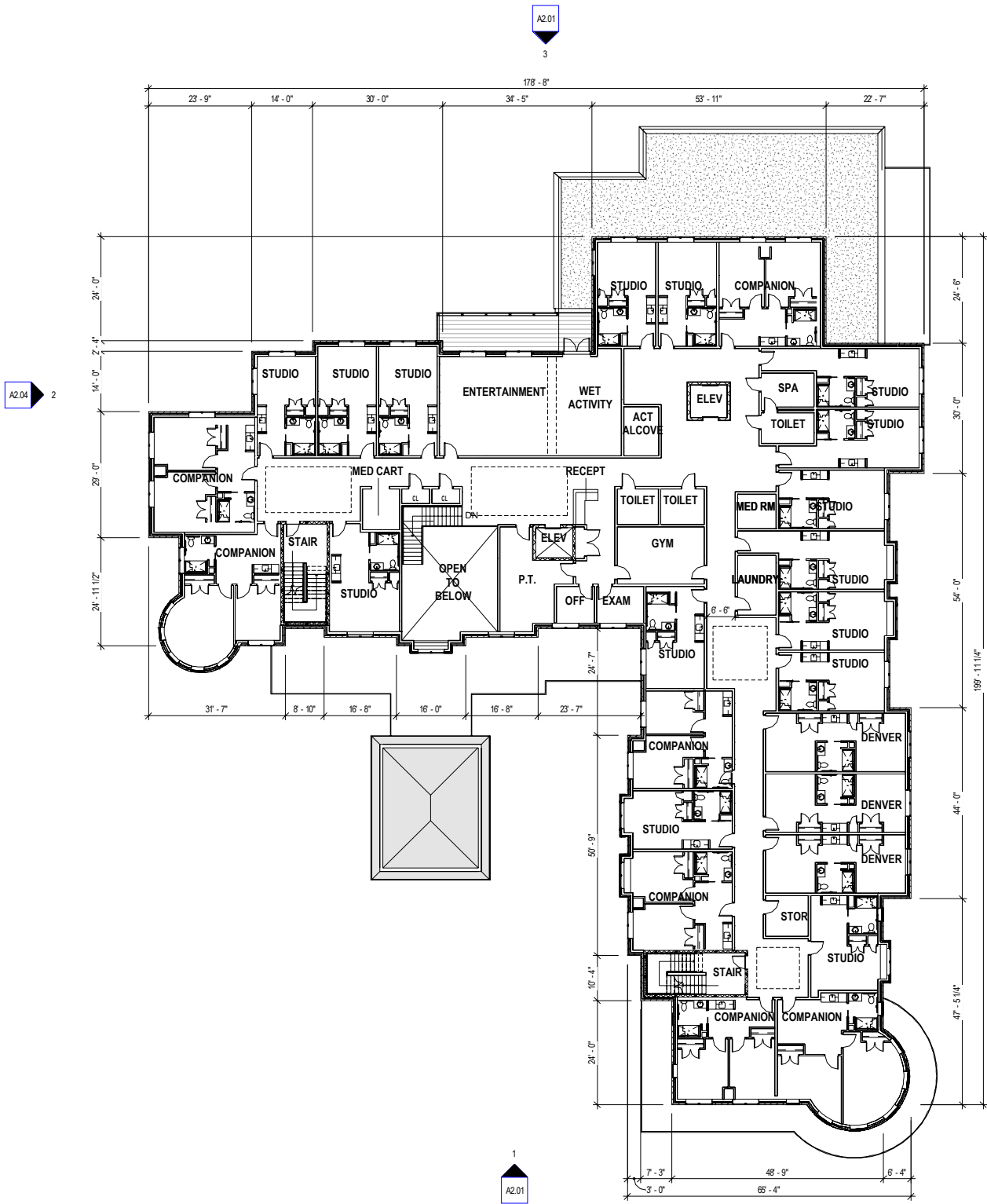
**SPECIAL PERMIT
APPLICATION**

**BASEMENT /
FIRST FLOOR**

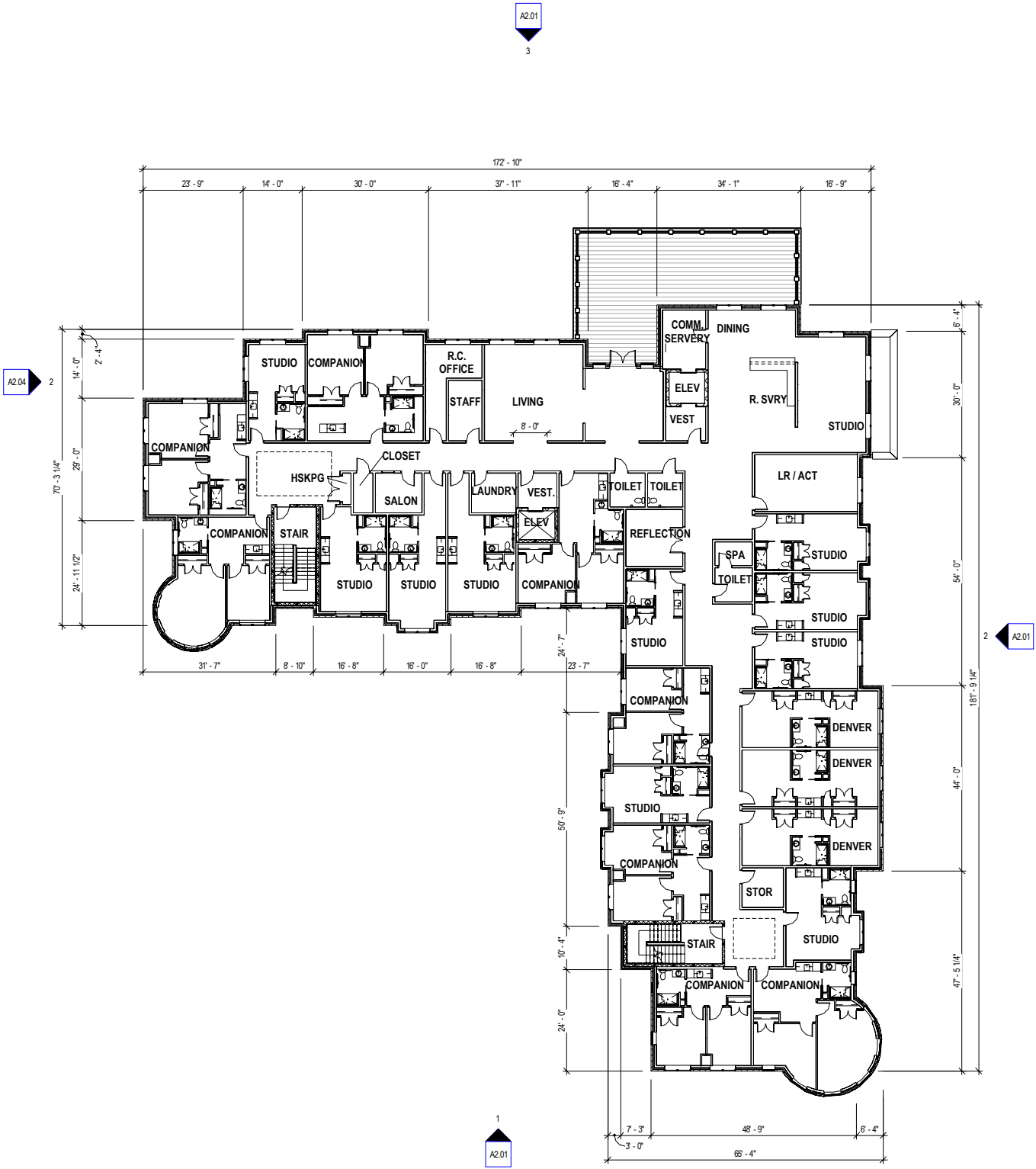
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1 SECOND FLOOR OVERALL PLAN
1/16" = 1'-0"



2 THIRD FLOOR OVERALL PLAN
1/16" = 1'-0"

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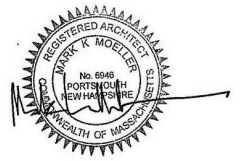
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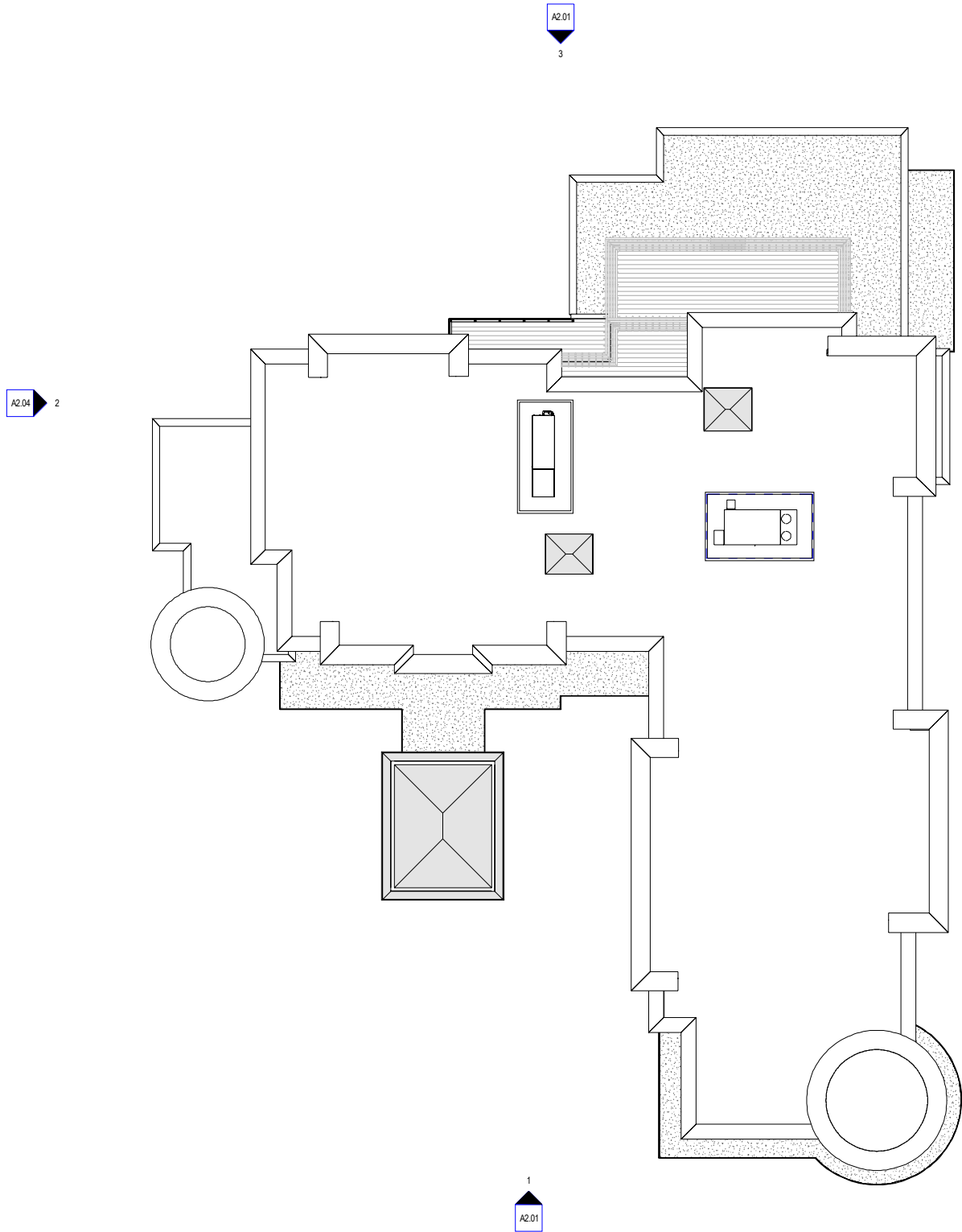
SPECIAL PERMIT
APPLICATION

SECOND FLOOR
/ THIRD FLOOR

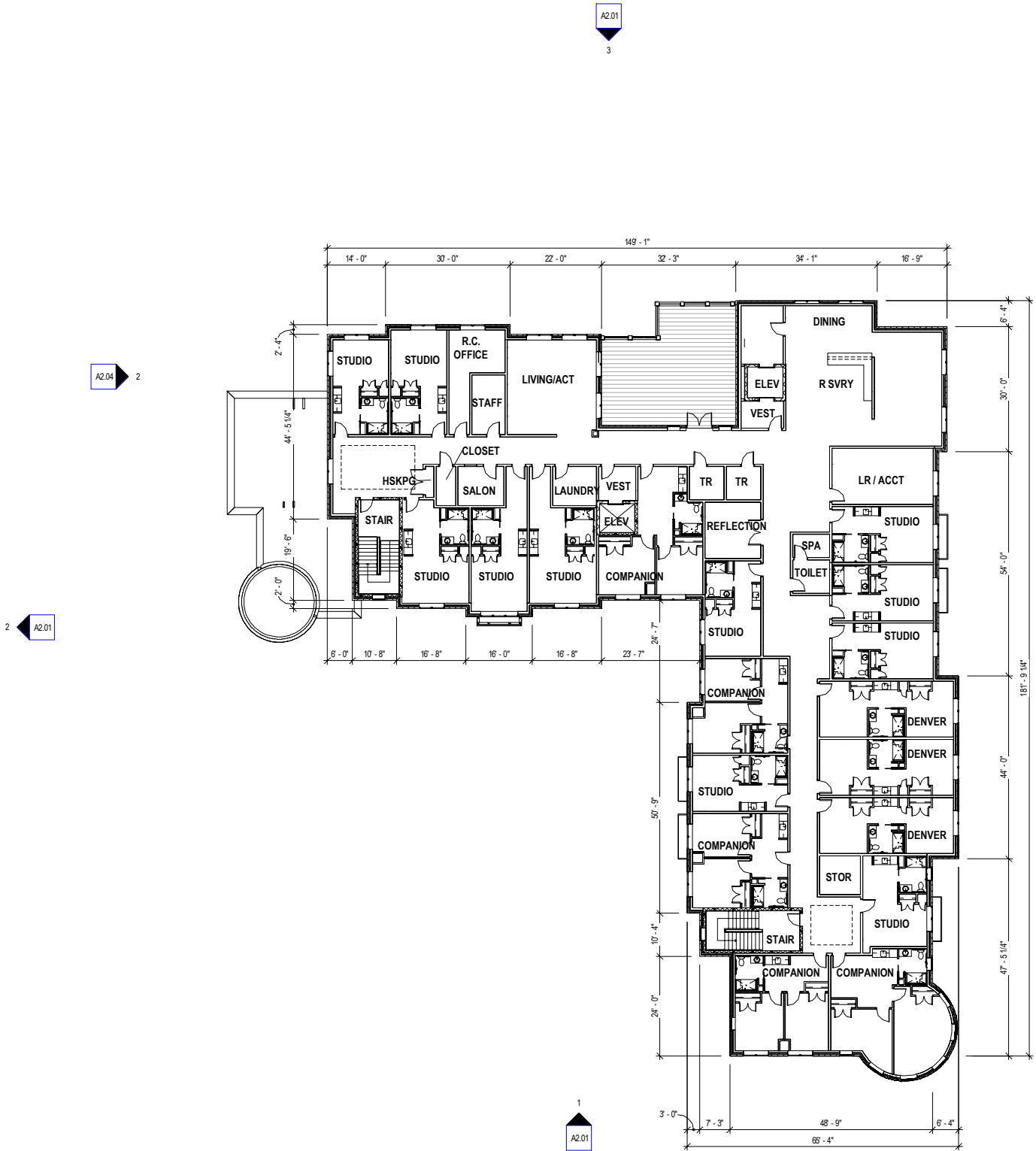
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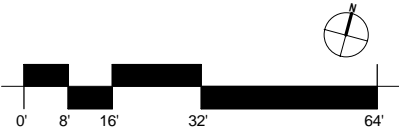
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2 ROOF OVERALL PLAN
1/16" = 1'-0"



1 FOURTH FLOOR OVERALL PLAN
1/16" = 1'-0"



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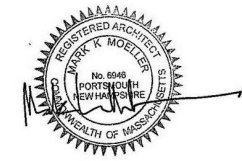
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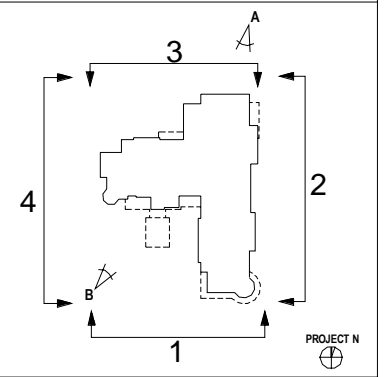
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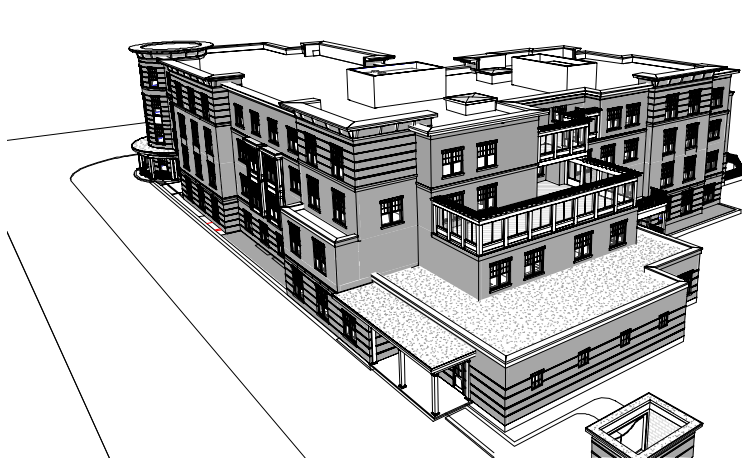
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**FOURTH FLOOR
/ ROOF**

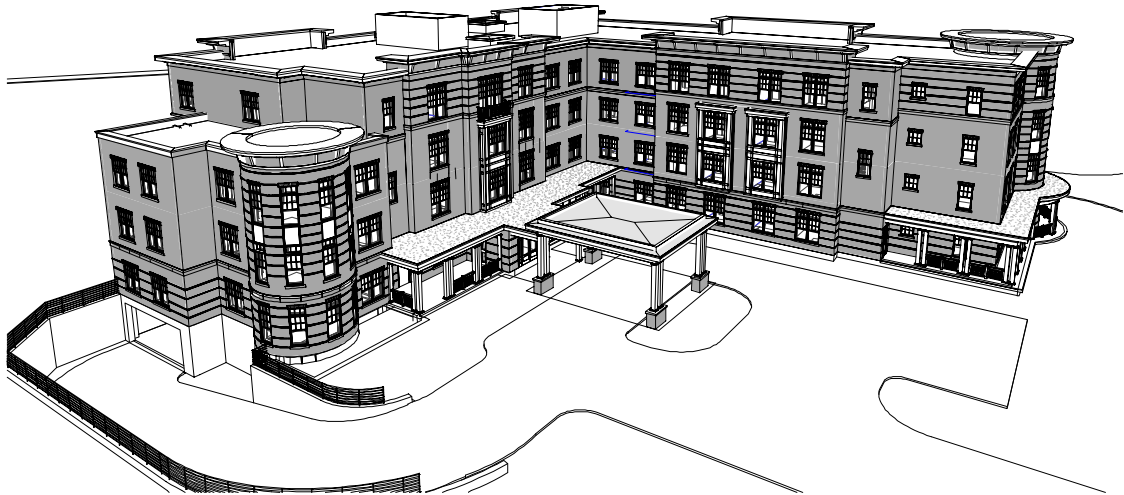
KEY PLAN



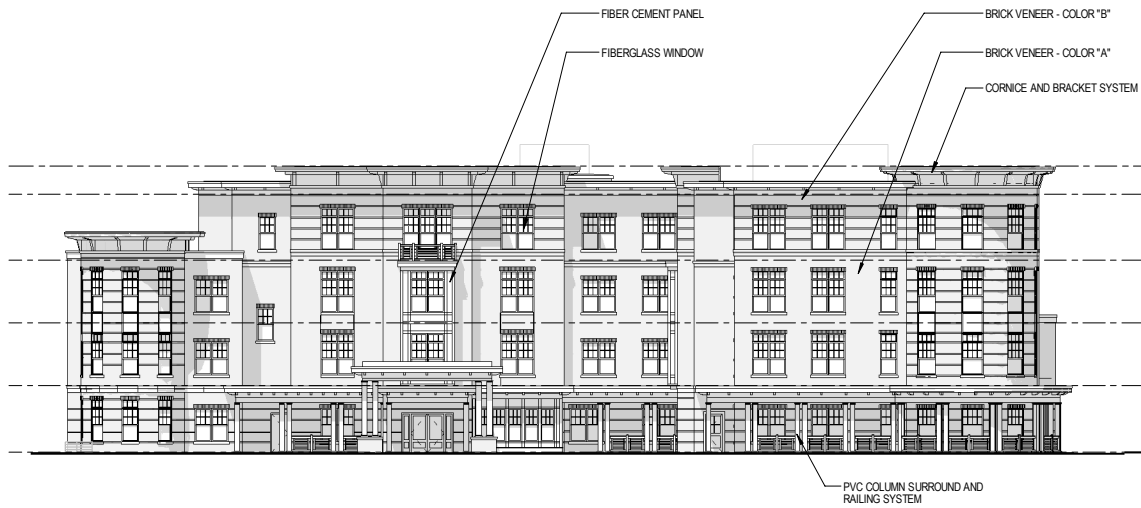
A BIRDSEYE PERSPECTIVE - 02



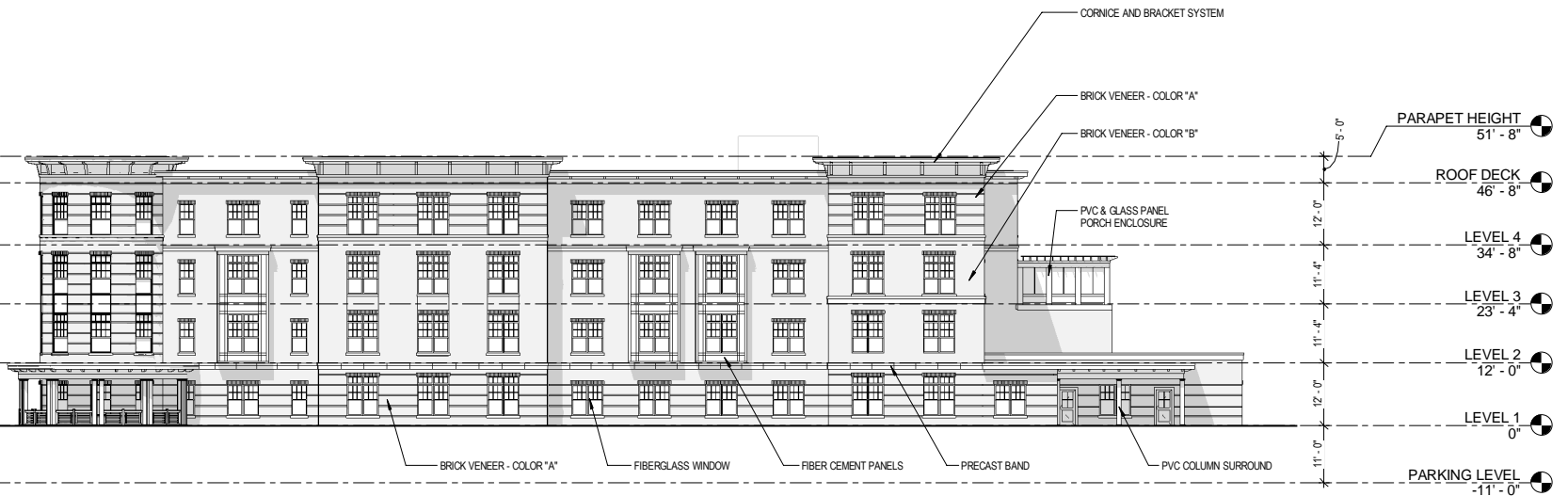
B BIRDSEYE PERSPECTIVE - 01



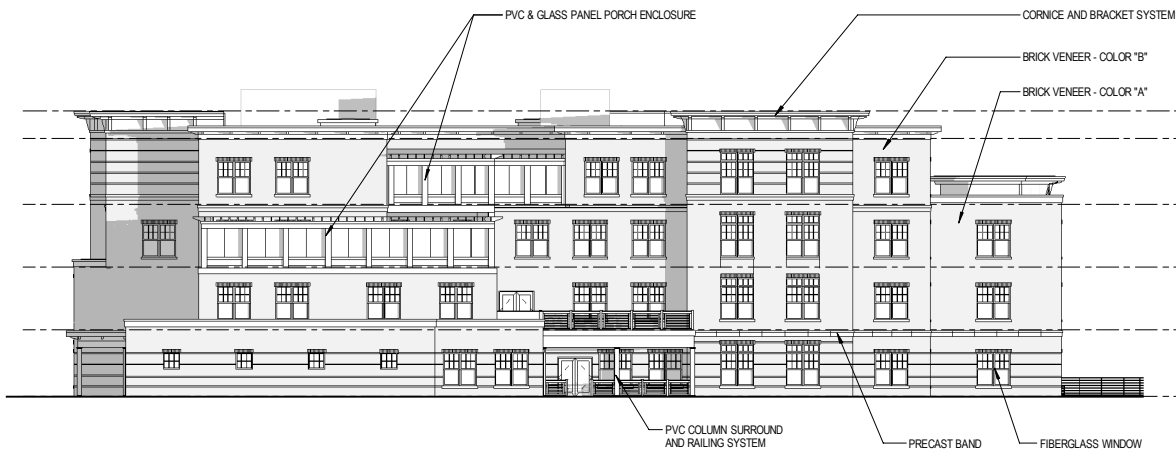
1 SOUTH EXTERIOR ELEVATION (WASHINGTON STREET)
1/16" = 1'-0"



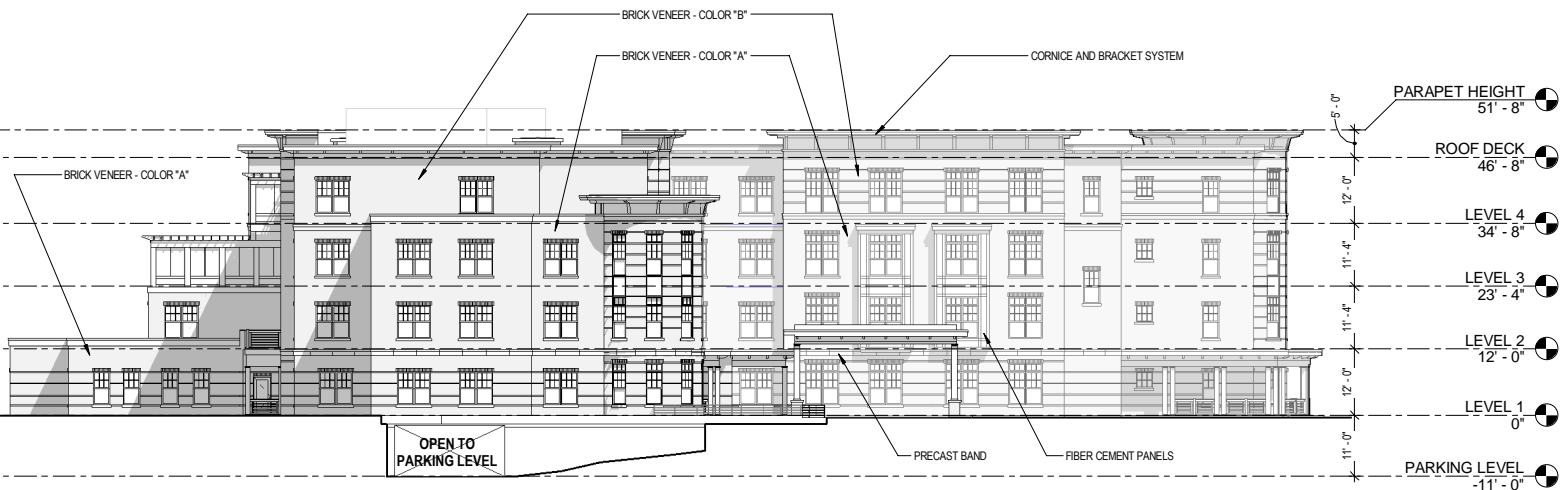
2 EAST EXTERIOR ELEVATION (HOVEY STREET)
1/16" = 1'-0"

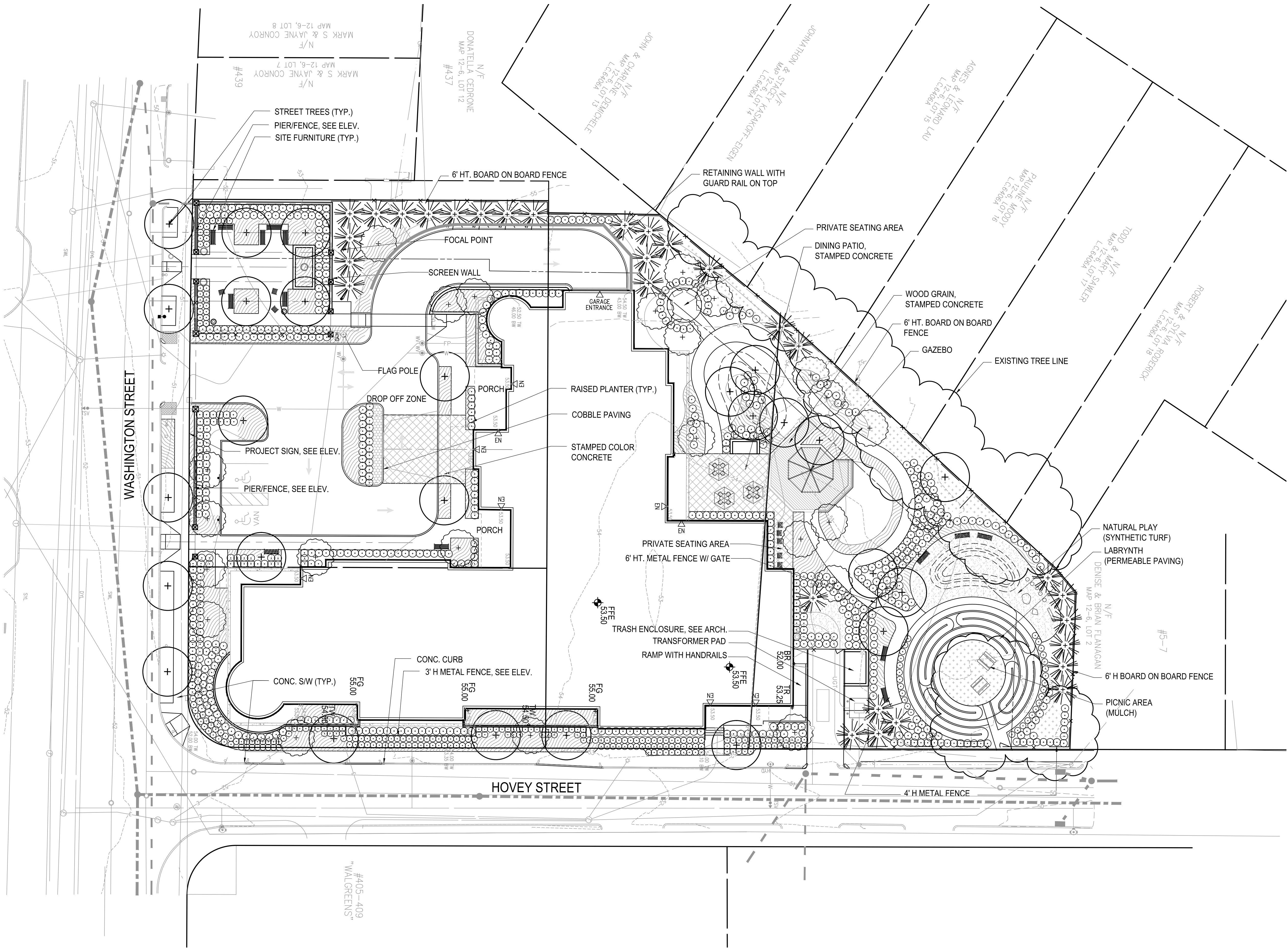


3 NORTH EXTERIOR ELEVATION
1/16" = 1'-0"

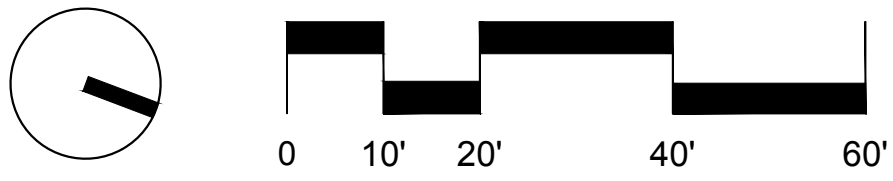


4 WEST EXTERIOR ELEVATION
1/16" = 1'-0"





PLANT SCHEDULE	
TREES	TYPE
	CANOPY TREE
	EVERGREEN TREE
	ORNAMENTAL TREE
SHRUBS	COMMON NAME
	LARGE SHRUB
	SHRUB
GROUND COVERS	COMMON NAME
	GROUND COVER



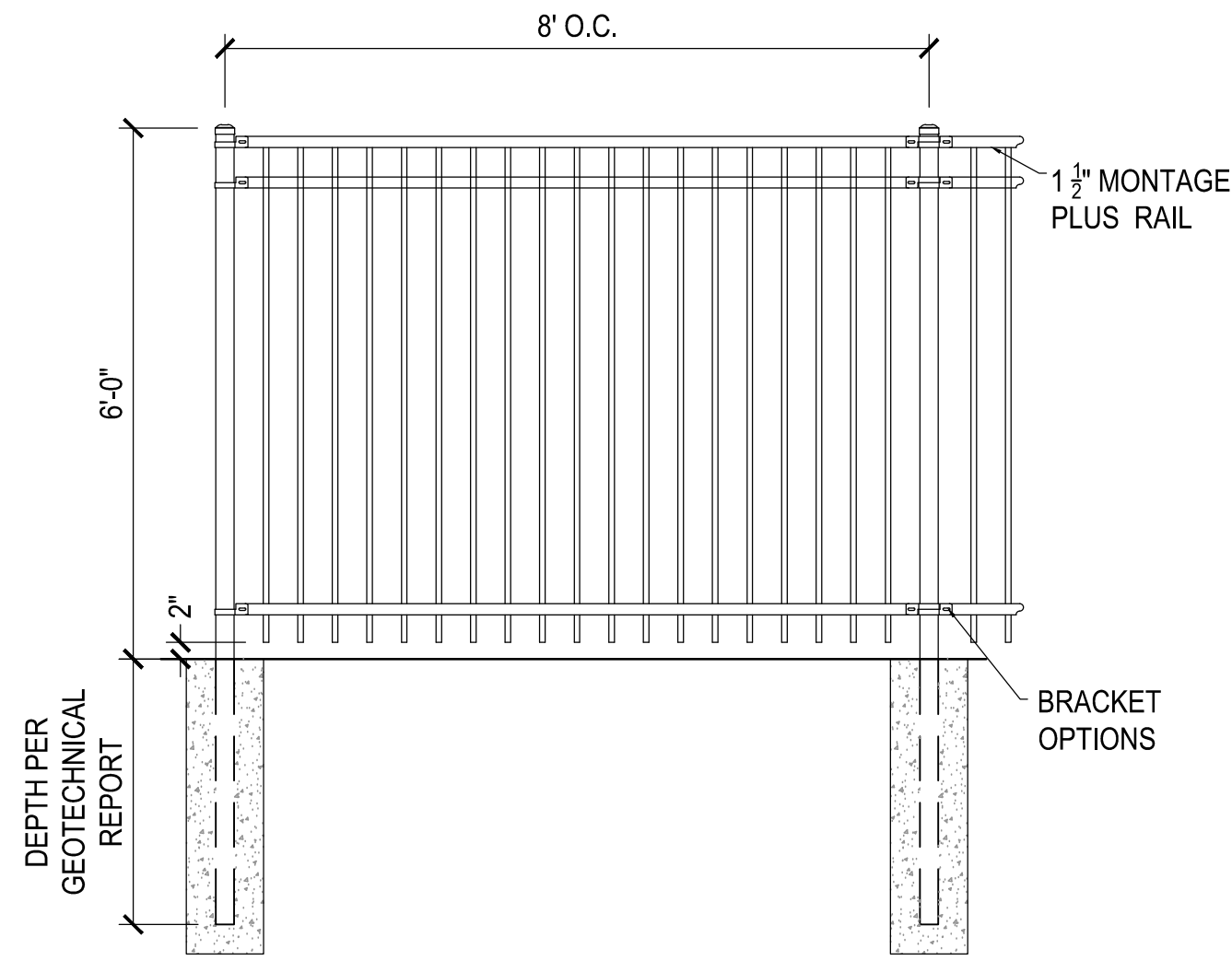


1 HOVEY STREET
1/8"= 1'-0"

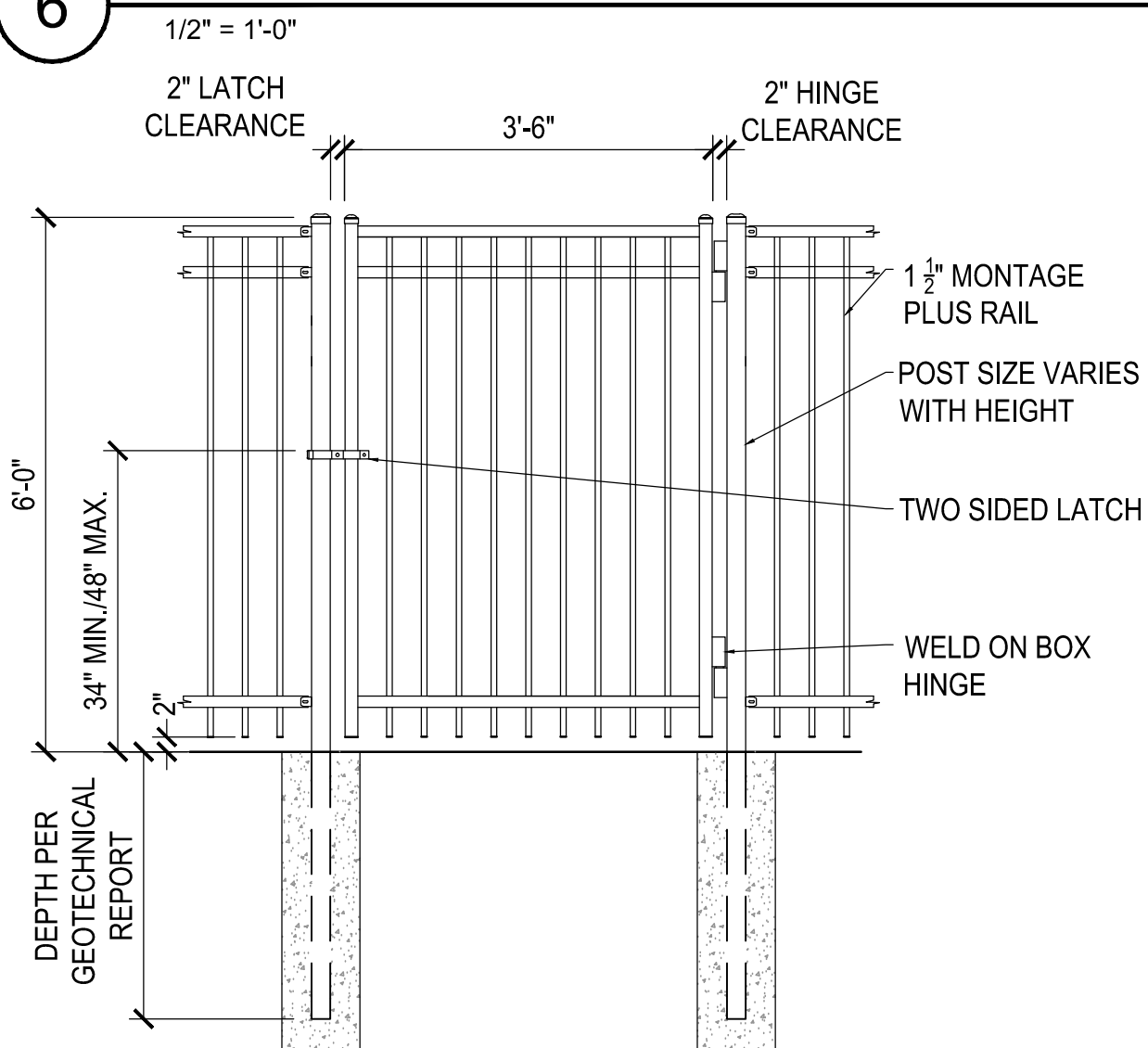


2 WASHINGTON STREET
1/8"= 1'-0"

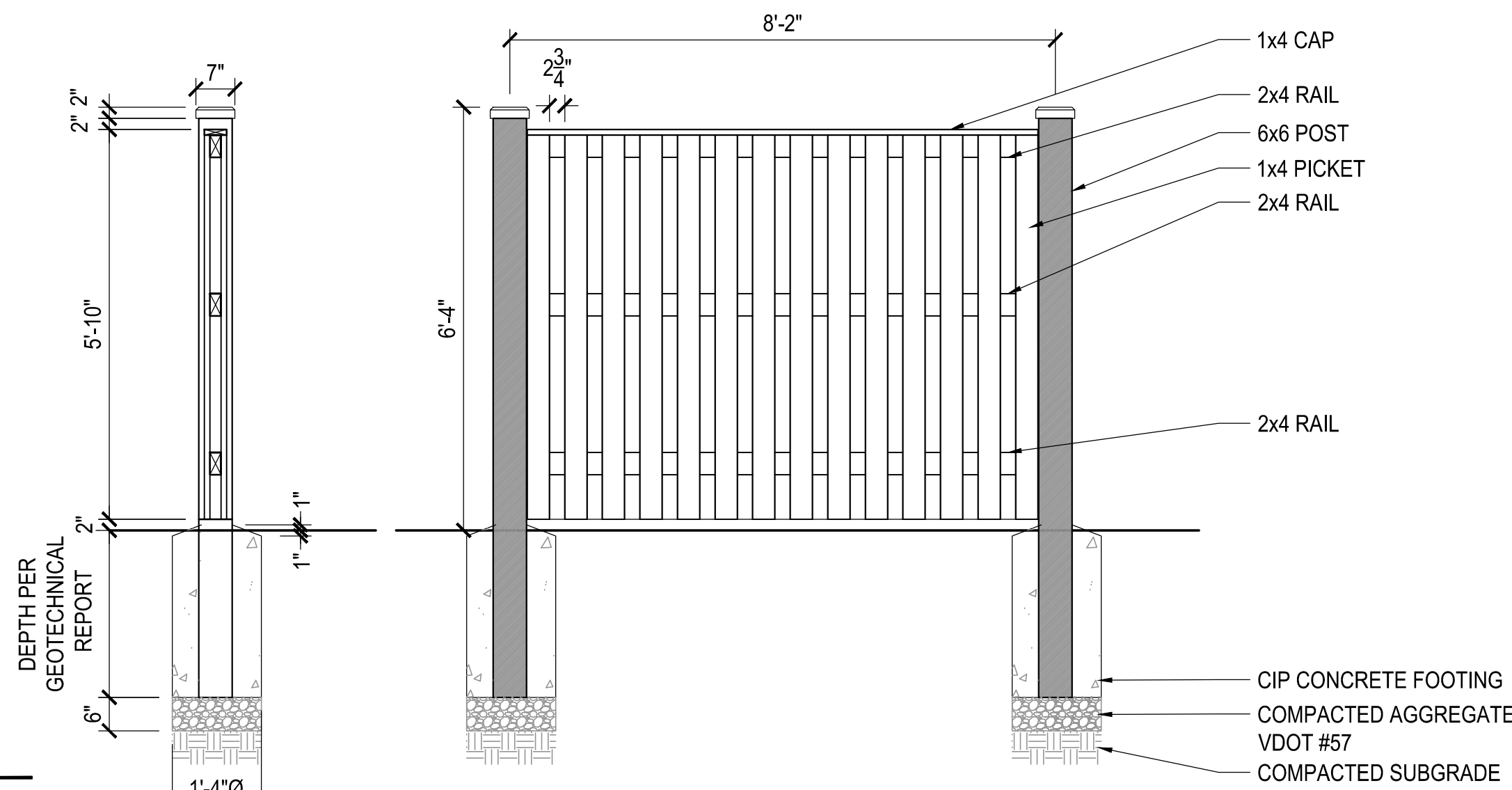
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6 METAL PICKET FENCE



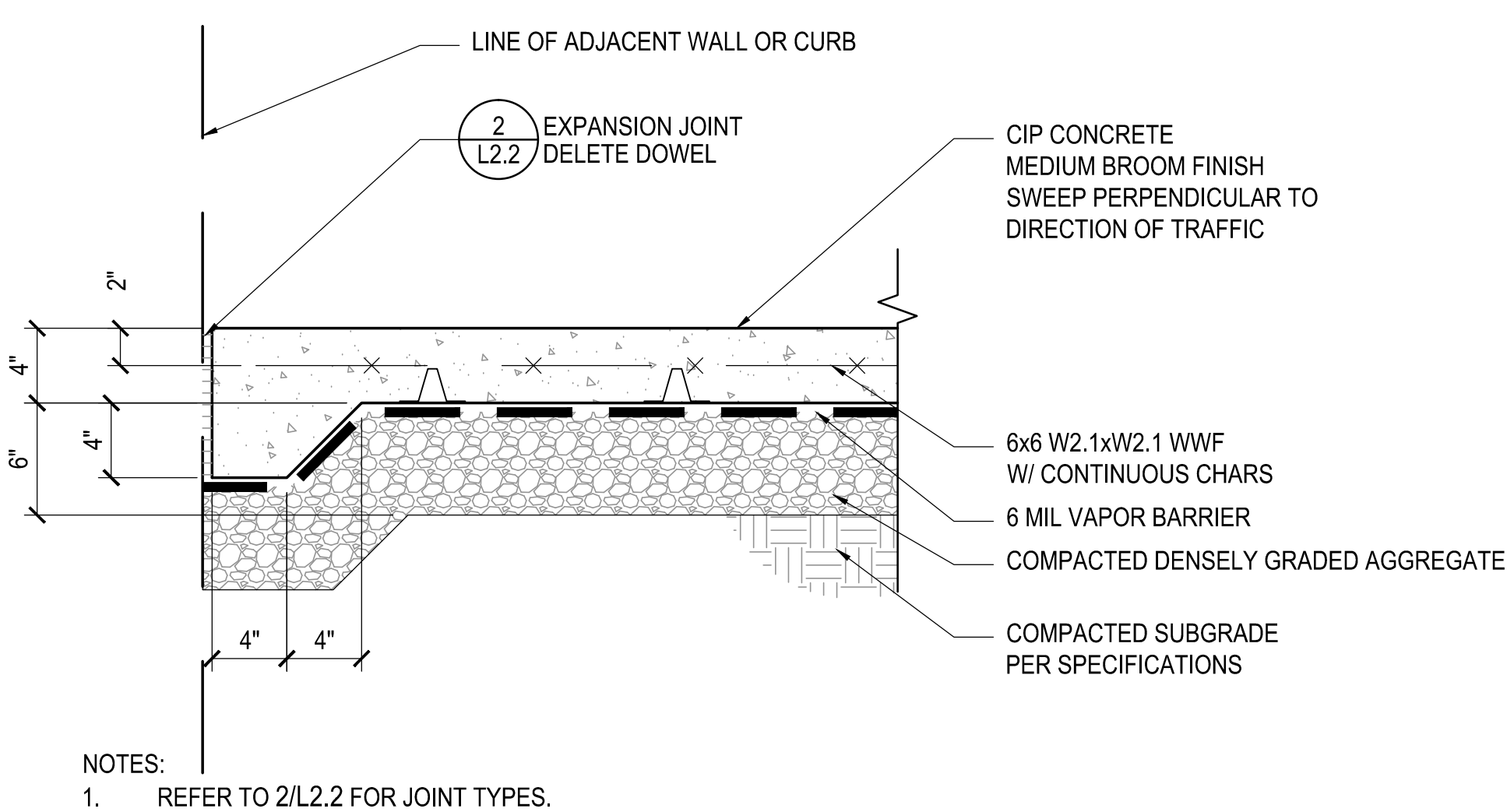
7 METAL PICKET FENCE GATE



- NOTES:
1. ALL LUMBER TO BE CEDAR, SELECT STRUCTURAL GRADE, UNLESS OTHERWISE SPECIFIED. ALL FASTENERS AND HARDWARE TO BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED.
 2. FINISH: CLEAR SEALANT: BEHR PREMIUM TRANSPARENT DECK, FENCE & SIDING WEATHERPROOFING WOOD FINISH, NATURAL CLEAR NO. 500
 3. INSTALL POSTS AND PLANKS PLUMB. INSTALL RAILS PARALLEL TO AVERAGE GRADE OVER 25 FEET. MAINTAIN ANGLE FOR MINIMUM 3 PANELS. FINISH GRADE TO MINIMUM 4'-0" WIDE UNDER FENCE TO MAINTAIN CLEARANCE.
 4. PROVIDE DIMENSIONED POST SPACING LAYOUT WITH SHOP DRAWINGS. NOTE LOCATIONS AND DIMENSIONS OF ANY RECOMMENDED ADJUSTMENTS.
 5. PROVIDE MOCKUP FOR REVIEW, ADJUSTMENT, AND APPROVAL BY ARCHITECT AND OWNER TO VERIFY WORKMANSHIP, MATERIALS, AND ORIENTATION PRIOR TO CONSTRUCTION.

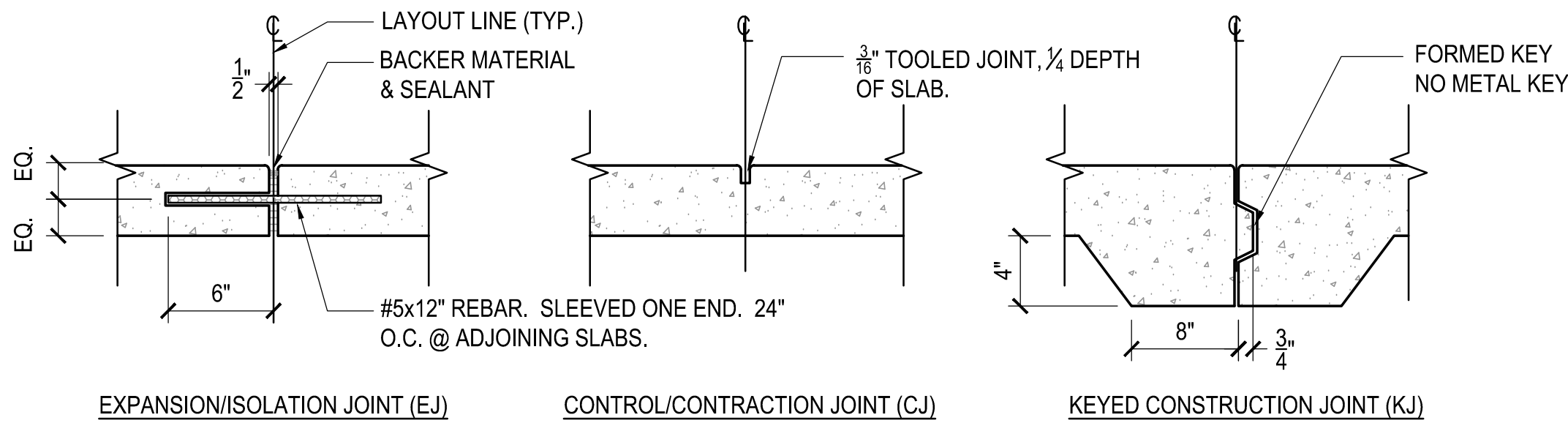
5 WOOD FENCE

1/2" = 1'-0"



1 CONCRETE/ STAMPED COLORED CONCRETE PAVING

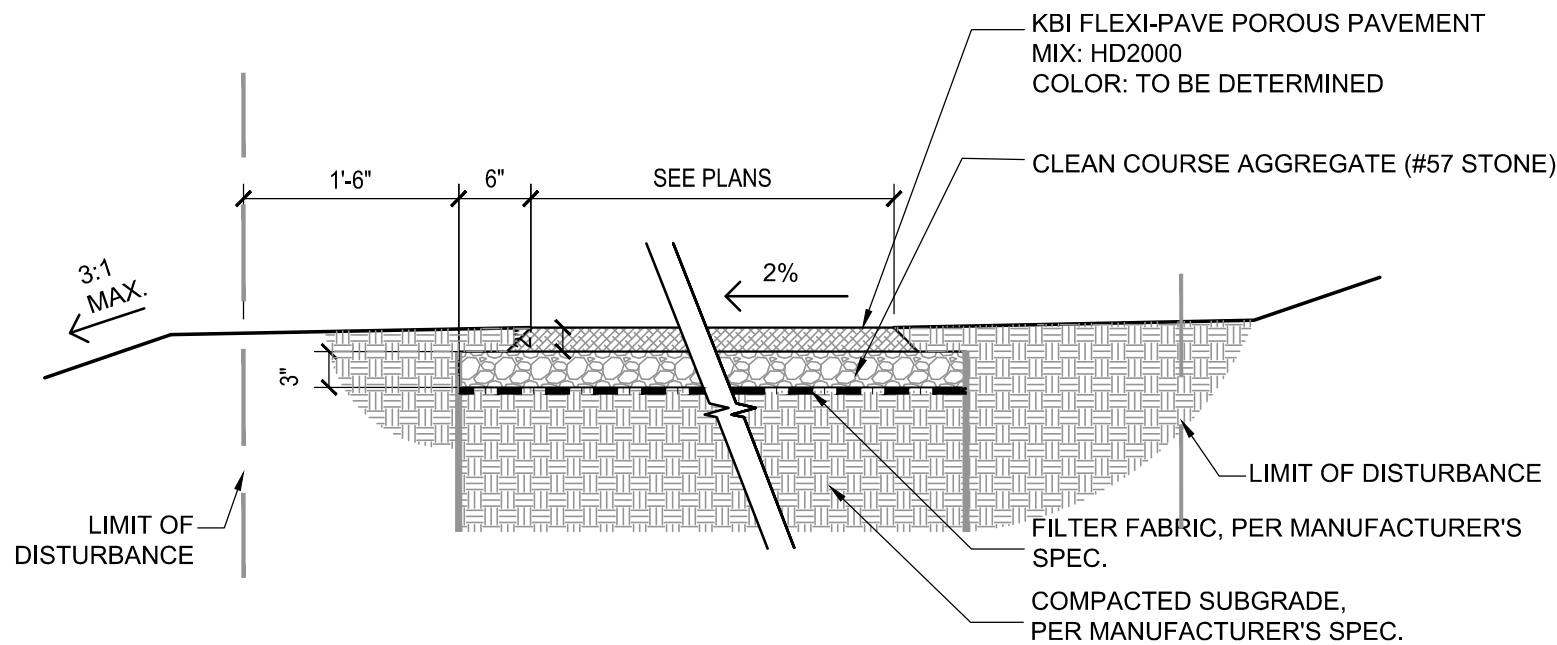
1 1/2" = 1'-0"



- NOTES:
1. INSTALL CONTROL JOINTS AT EQUAL INTERVALS OF 5'-0" EACH WAY UNLESS OTHERWISE INDICATED.
 2. INSTALL EXPANSION JOINTS @ 20'-0" INTERVALS MAX. EACH WAY, UNLESS OTHERWISE INDICATED, AND WHERE SLAB MEETS ANY ADJACENT STRUCTURE.
 3. TOOL ALL EXPOSED EDGES W/ 1/4" RADIUS.
 4. RECESS EXPANSION JOINTS 1/4" BELOW FINISH GRADE.
 5. SAWCUT JOINTS ARE PROHIBITED.

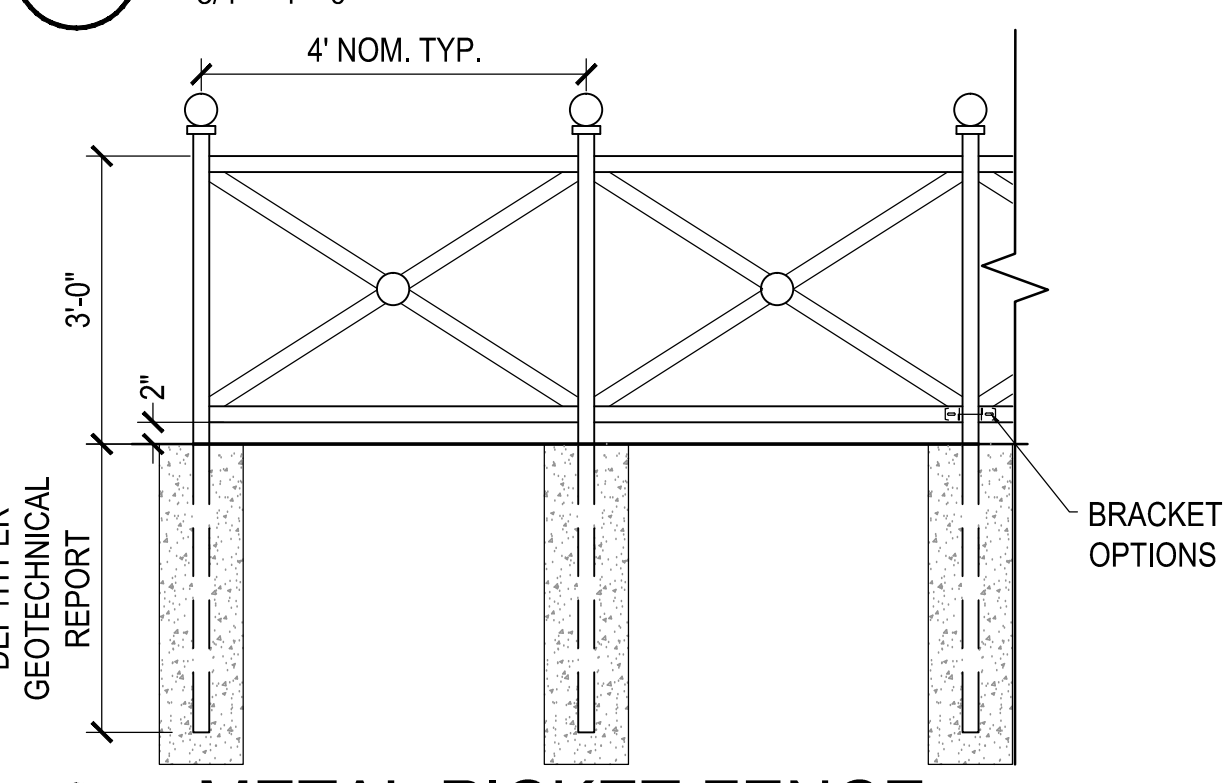
2 CONCRETE JOINTING

1 1/2" = 1'-0"



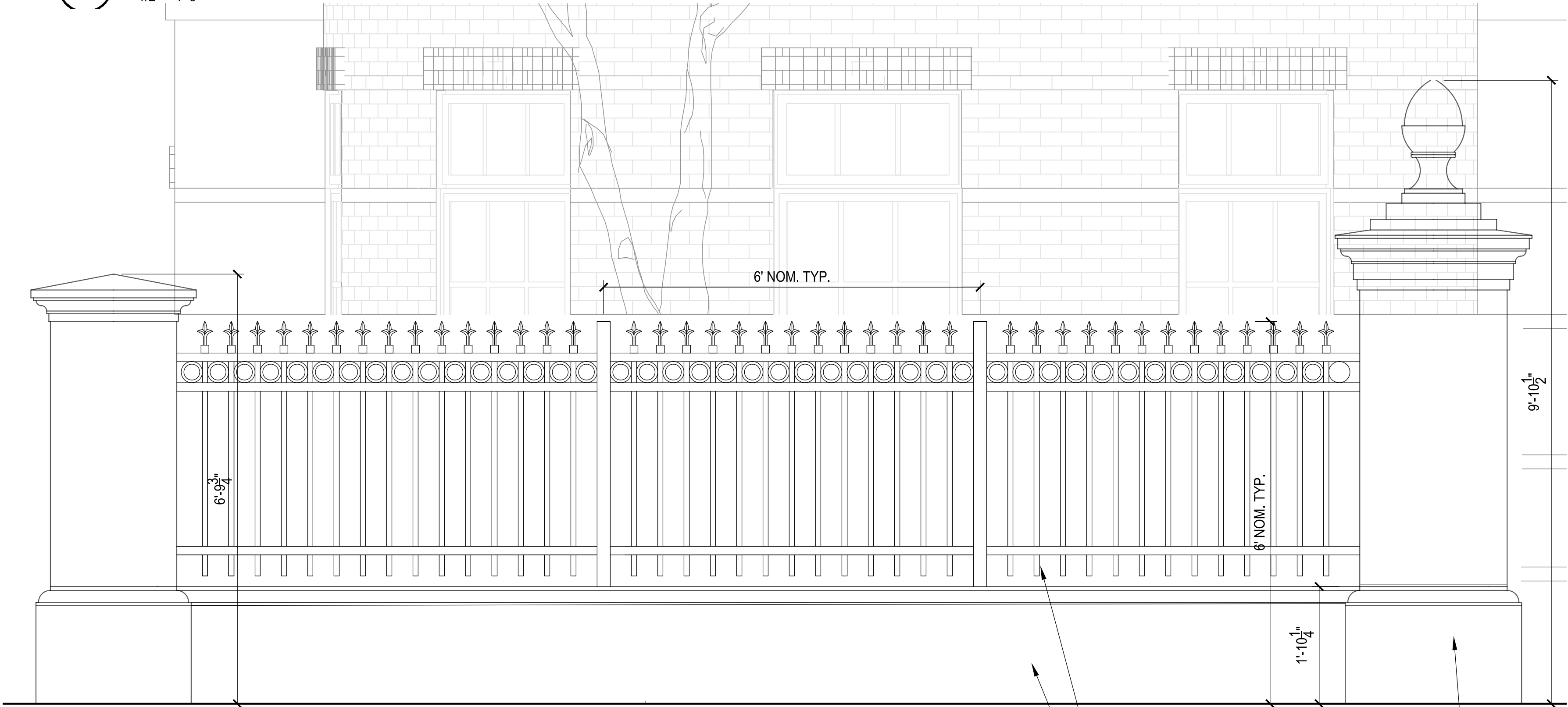
3 PERMEABLE PAVING

3/4" = 1' - 0"



4 METAL PICKET FENCE

1/2" = 1'-0"



8 FENCE PIER

3/4" = 1' - 0"

METAL FENCE
BRICK PIER WITH PRECAST CAP
BRICK WATERTABLE



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









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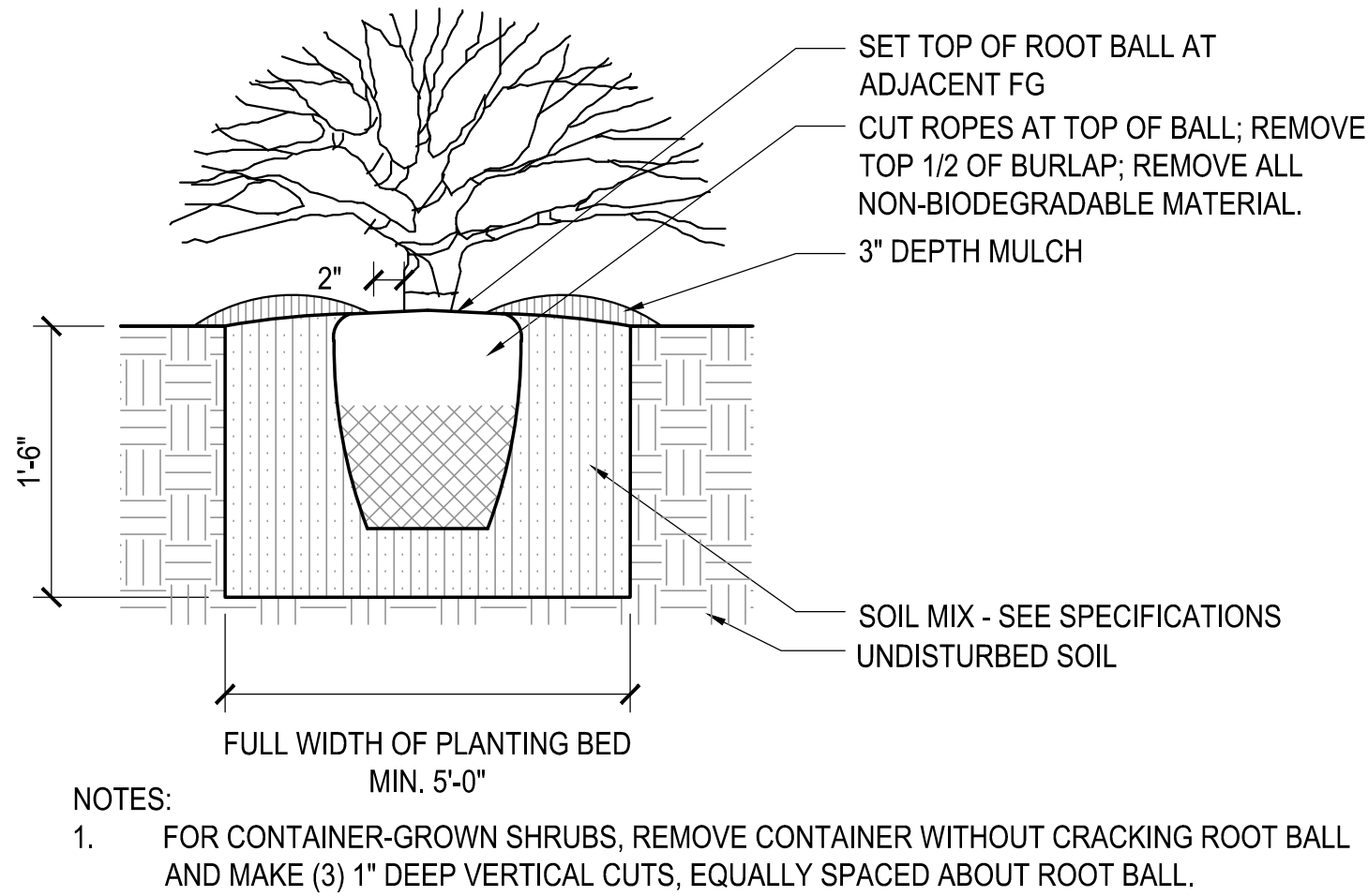
FENCING/ PAVING DETAILS

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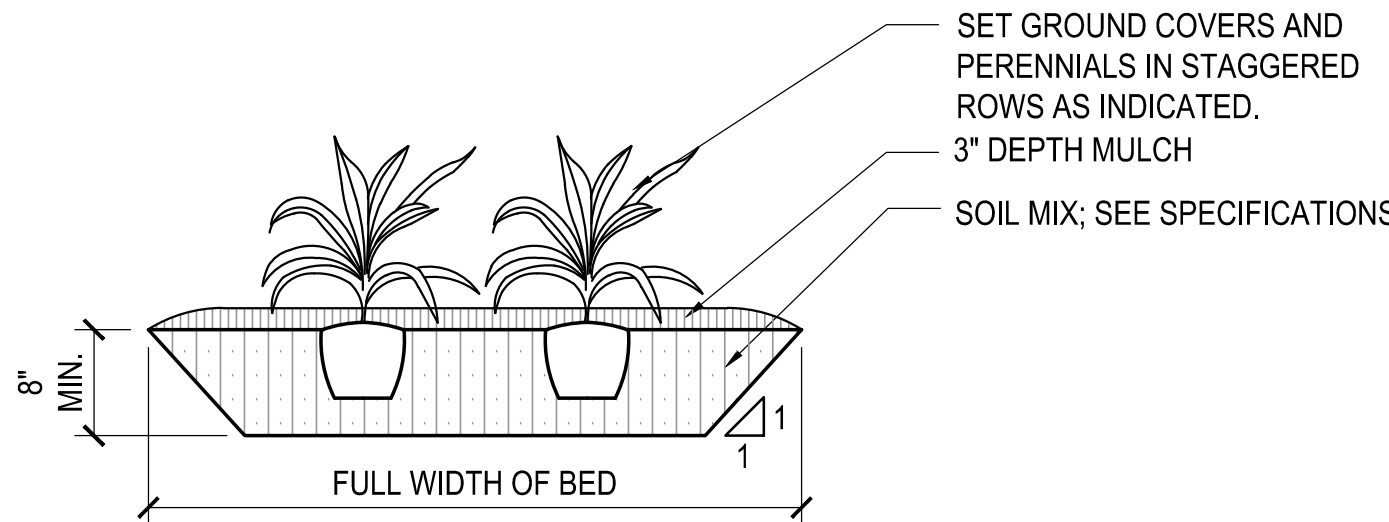
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PLANT SCHEDULE		
CANOPY TREES	BOTANICAL NAME	COMMON NAME
	ACER SACCHARUM 'LEGACY'	LEGACY SUGAR MAPLE
	GINKGO BILOBA 'AUTUMN GOLD' TM	MAIDENHAIR TREE
	GLEDITSIA TRIACANTHOS 'INERMIS'	THORNLESS COMMON HONEYLOCUST
	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE
	QUERCUS ALBA	WHITE OAK
	QUERCUS PHELLOS	WILLOW OAK
	QUERCUS RUBRA	RED OAK
	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM
EVERGREEN	BOTANICAL NAME	COMMON NAME
	ILEX OPACA	AMERICAN HOLLY
	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR
	PICEA GLAUCA	WHITE SPRUCE
	PINUS STROBUS	WHITE PINE
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME
	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY
	BETULA NIGRA	RIVER BIRCH MULTI-TRUNK
	CARPINUS CAROLINIANA	AMERICAN HORNBEAM
	CERCIS CANADENSIS	EASTERN REDBUD
	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE
	CORNUS FLORIDA 'CHEROKEE PRINCESS'	CHEROKEE PRINCESS DOGWOOD
	HAMAMELIS VIRGINIANA	COMMON WITCH HAZEL
	MAGNOLIA VIRGINIANA	SWEET BAY
	MALUS X 'DONALD WYMAN'	DONALD WYMAN CRAB APPLE
	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM
	OXYDENDRUM ARBOREUM	SOURWOOD TREE

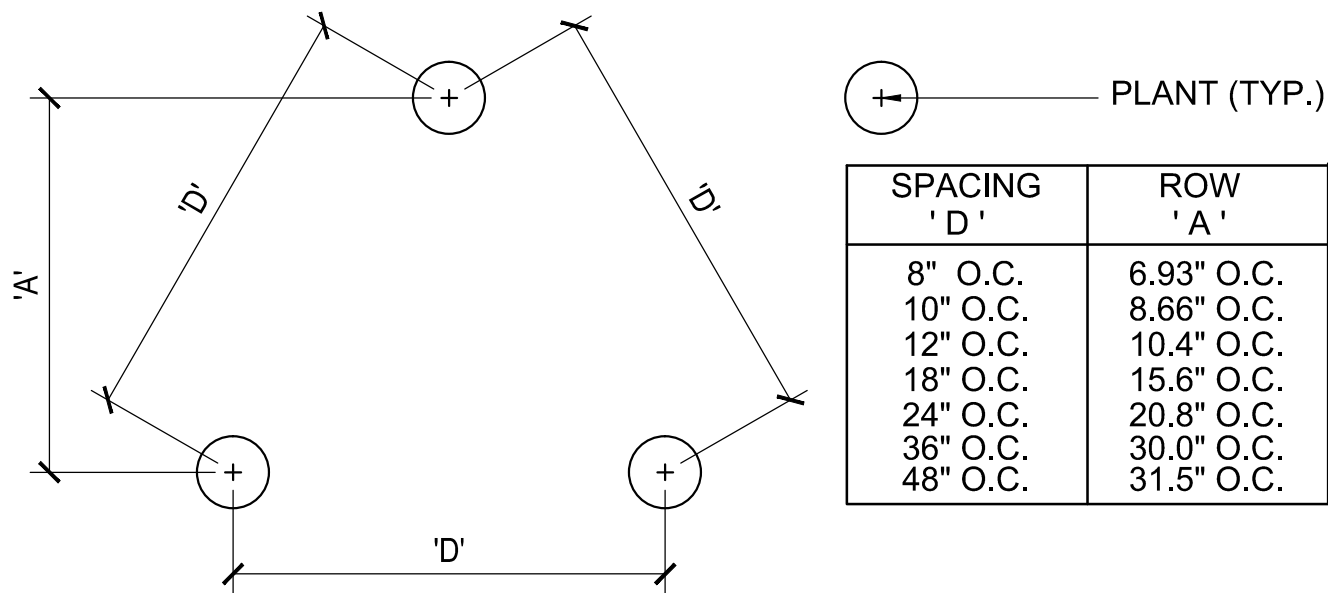
PLANT SCHEDULE		
LARGE SHRUBS	BOTANICAL NAME	COMMON NAME
	CALYCANTHUS FLORIDUS	SWEET SHRUB
	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE CLETHRA
	HYDRANGEA QUERCIFOLIA 'PEE WEE'	OAKLEAF HYDRANGEA
	ILEX VERTICILLATA	WINTERBERRY
	KALMIA LATIFOLIA	MOUNTAIN LAUREL
	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM
SMALL SHRUBS	BOTANICAL NAME	COMMON NAME
	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY
	CORNUS SERICEA 'CARDINAL'	'CARDINAL' RED-TWIG DOGWOOD
	FOTHERGILLA GARDENII	DWARF FOTHERGILLA
	ILEX GLABRA	INKBERRY HOLLY
	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SUMMERSWEET
	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY
GROUND COVERS	BOTANICAL NAME	COMMON NAME
	AQUILEGIA CANADENSIS	CANADIAN COLUMBINE
	ASCLEPIAS INCARNATA	SWAMP MILKWEED
	CAMPISIS RADICANS	TRUMPET CREEPER
	CAREX STRICTA	TUSOCK SEDGE
	JUNIPERUS HORIZONTALIS	CREEPING JUNIPER
	LONICERA SEMPERVIRENS	CORAL HONEYSUCKLE
	OSMUNDA CINNAMOMEA	CINNAMON FERN
	PARTHENOCISSUS QUINQUEFOLIA	VIRGINA CREEPER
	PHLOX DIVARICATA	WILD BLUE PHLOX
	RUDBECKIA HIRTA	BLACK EYED SUSAN



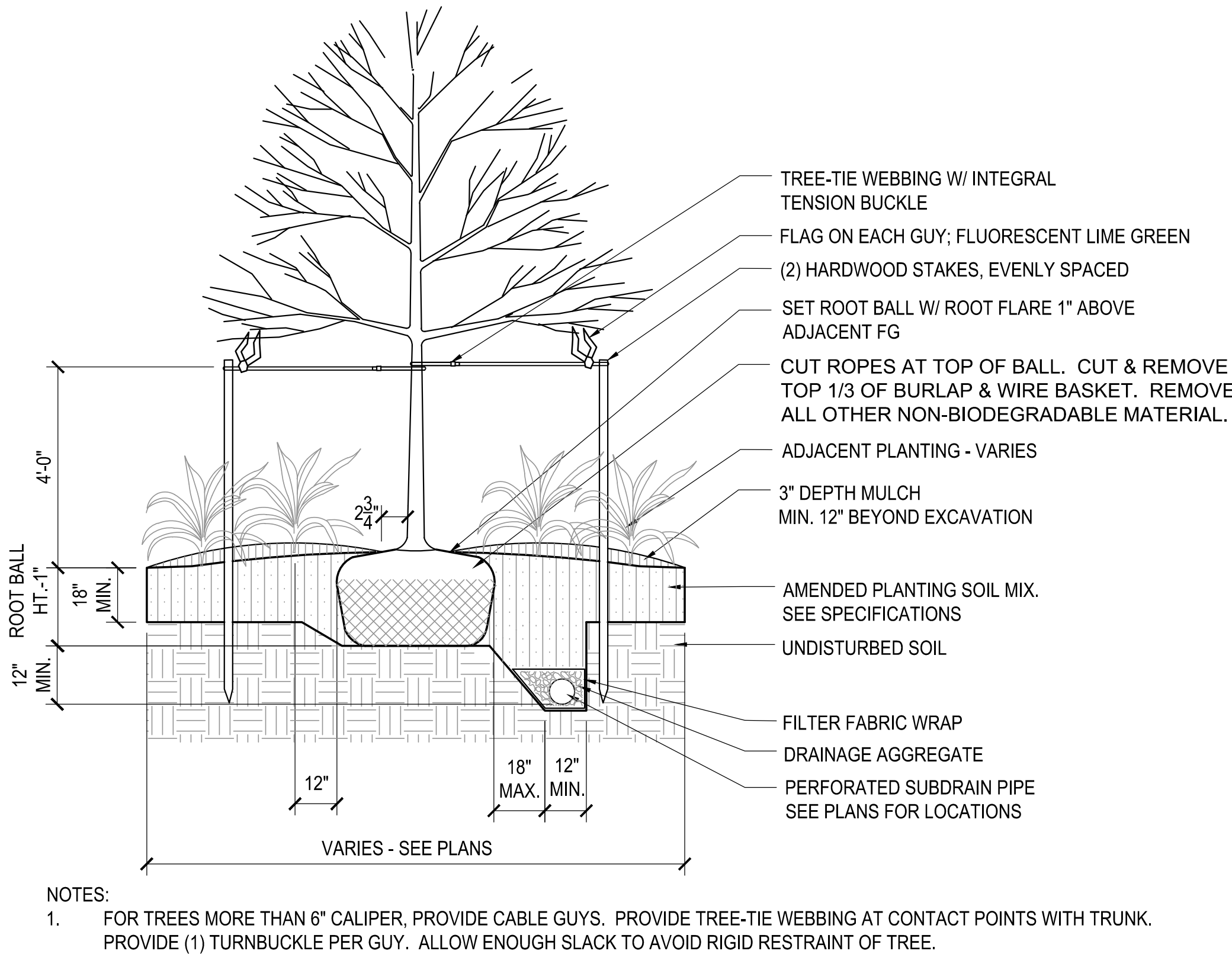
SHRUB PLANTING



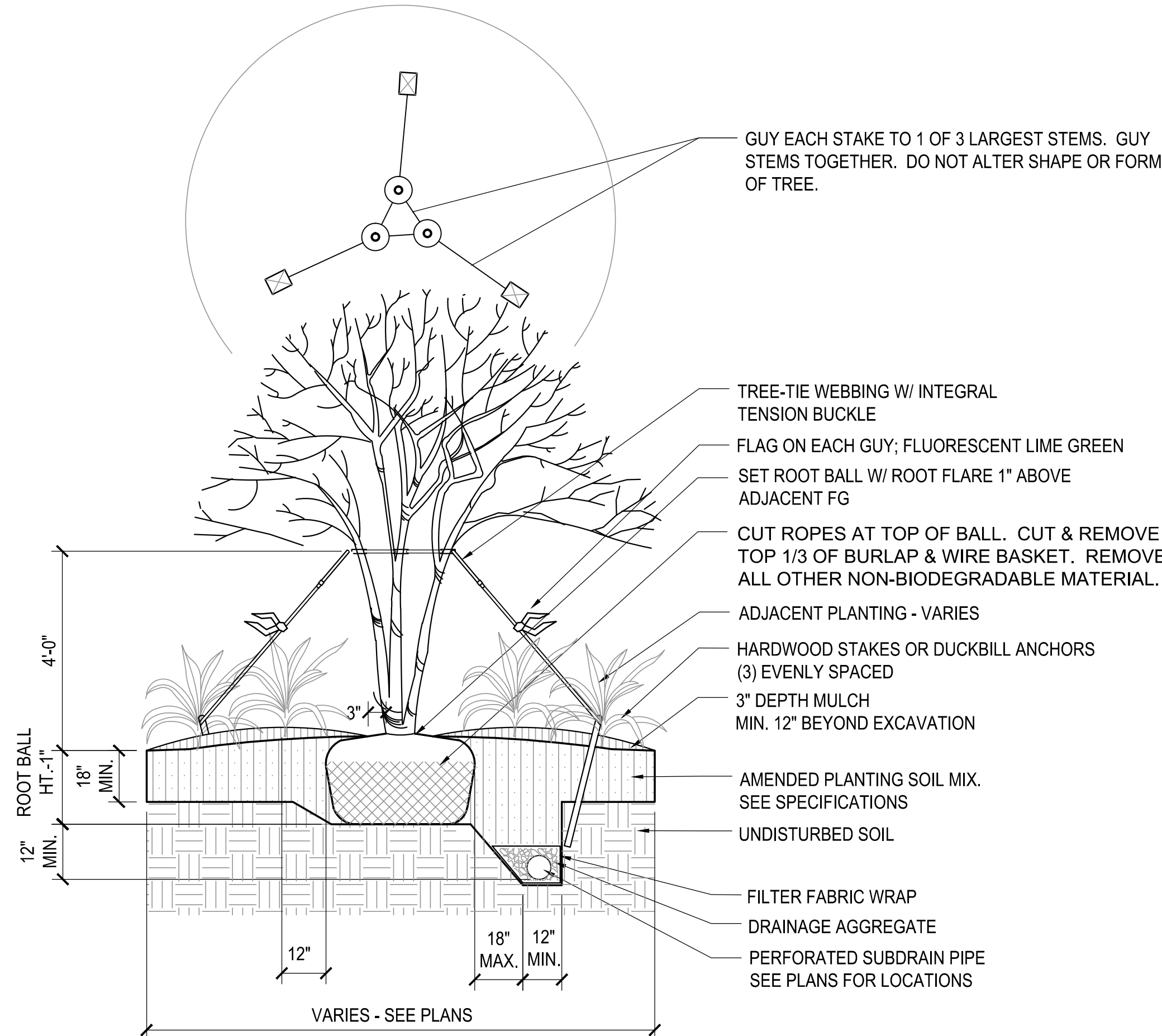
GROUND COVER PLANTING



GROUND COVER SPACING



SINGLE-STEM TREE PLANTING



MULTI-STEM TREE PLANTING



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PLANTING DETAILS

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Site Plans

Issued for	Special Permit Application
Date Issued	March 3, 2017
Latest Issue	March 3, 2017

Sunrise of Newton

431 Washington Street
Newton, MA



Applicant

Sunrise Development, Inc.
7902 Westpark Drive
McLean, VA 22102



Assessor's Map: 12006
Lot: 0003, 0004, 0005

Site/Civil		
No.	Drawing Title	Latest Issue
C-1	Legend And General Notes	March 3, 2017
C-2	Area Plan	March 3, 2017
C-3	Zone Change Plan	March 3, 2017
C-4	Zoning Assessment Plan	March 3, 2017
C-5	Layout and Materials Plan	March 3, 2017
C-6	Grading and Drainage Plan	March 3, 2017
C-7	Utility Plan	March 3, 2017
C-8	Erosion and Sediment Control Plan	March 3, 2017
C-9.1	Site Details	March 3, 2017
C-9.2	Site Details	March 3, 2017
C-10	Fire Access Plan	March 3, 2017

Reference Drawings		
No.	Drawing Title	Latest Issue
Sv-1	Existing Conditions Plan of Land	October 12, 2016
A0.01	Basement/First Floor	March 3, 2017
A0.02	Second/Third Floor	March 3, 2017
A0.03	Fourth/Roof	March 3, 2017
A2.01	Exterior Elevations	March 3, 2017



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Geotechnical Engineer

GZA GeoEnvironmental, Inc.
249 Vanderbilt Avenue
Norwood, MA 02062
781.278.3700

Architect

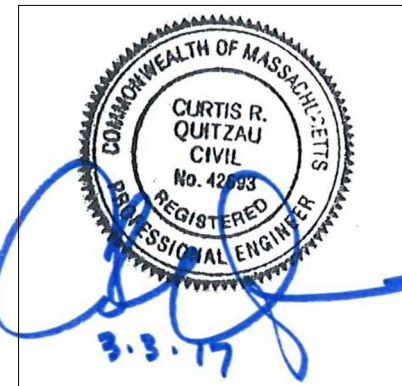
JSA Inc.
273 Corporate Drive
Suite 100
Portsmouth, NH 03801
603.436.2551

Legal Counsel

Schlesinger and Buchbinder, LLP
1200 Walnut Street
Newton, MA 02461
617.965.3500

Landscape Architect

LSG Landscape Architecture
1775 Greensboro Station Place
Suite 110
Tysons, VA 22102
703.821.2045





Legend

ZONING DISTRICT BOUNDARY
 PROJECT SITE PARCEL

vhb

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SUNRISE
SENIOR LIVING

Sunrise of Newton
431 Washington St
Newton, Massachusetts

No.	Revision	Date	Apprd.

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Issued for
Special Permit Application March 3, 2017

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Drawing Title
Area Plan

Drawing Number

C-2

Sheet 2 of 11

Project Number
13677.00





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Sunrise of Newton
431 Washington St
Newton, Massachusetts

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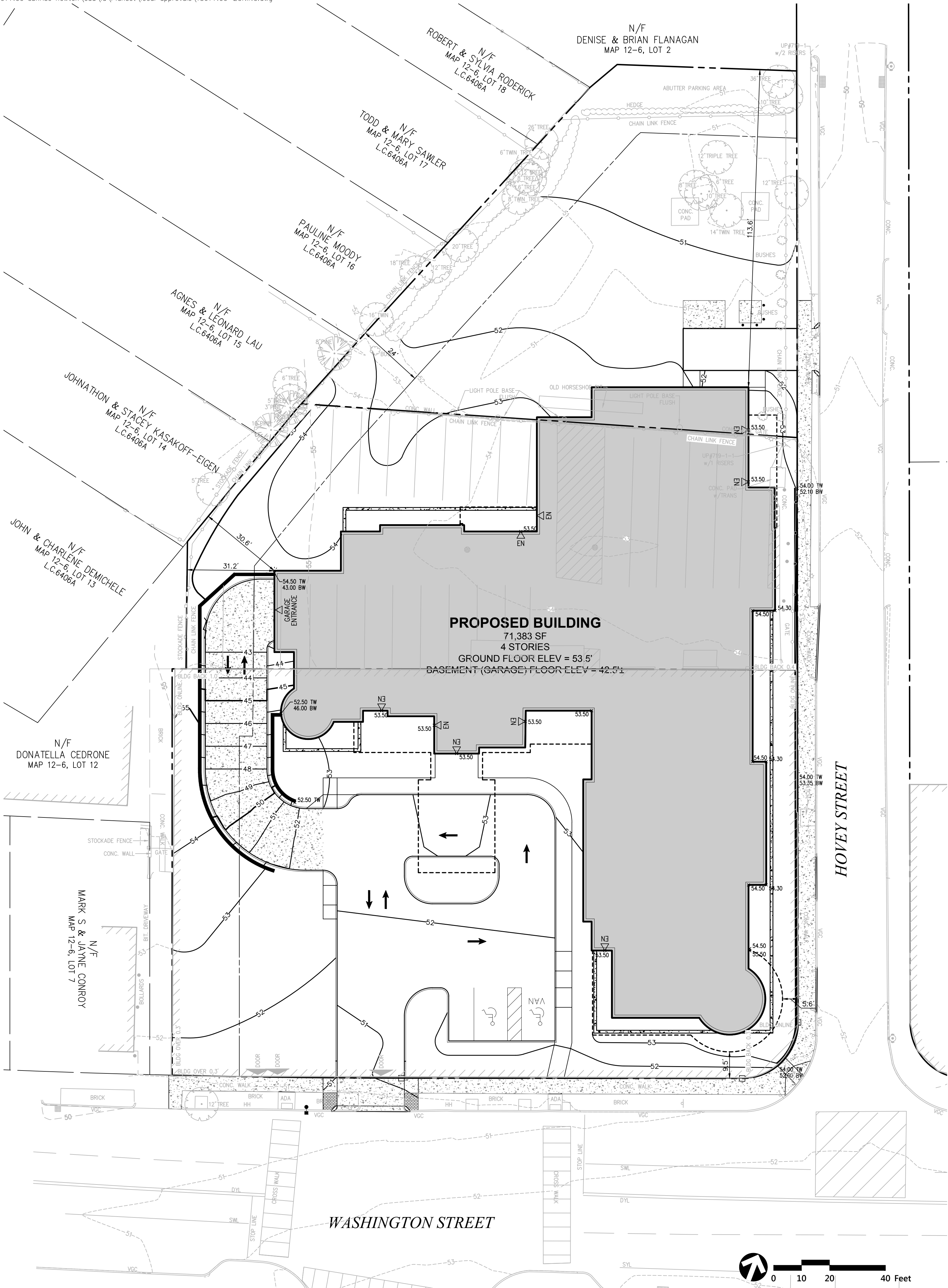
Drawing Title
Zone Change Plan



C-3

Sheet 3 of 11

Project Number
13677.00



Zoning Summary Chart

Zoning District: BU2		
Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA	10,000 SF	66,909 SF*
FRONTAGE	80.0 Feet	575.0 Feet
FRONT YARD SETBACK	0 Feet	5.6 Feet
SIDE YARD SETBACK	24 Feet	31.2 Feet
REAR YARD SETBACK	24 Feet	30.6 Feet
MAXIMUM FLOOR AREA RATIO	2.00	1.07
MAXIMUM BUILDING HEIGHT	48 Feet	47.4 Feet
* 3 PARCELS		

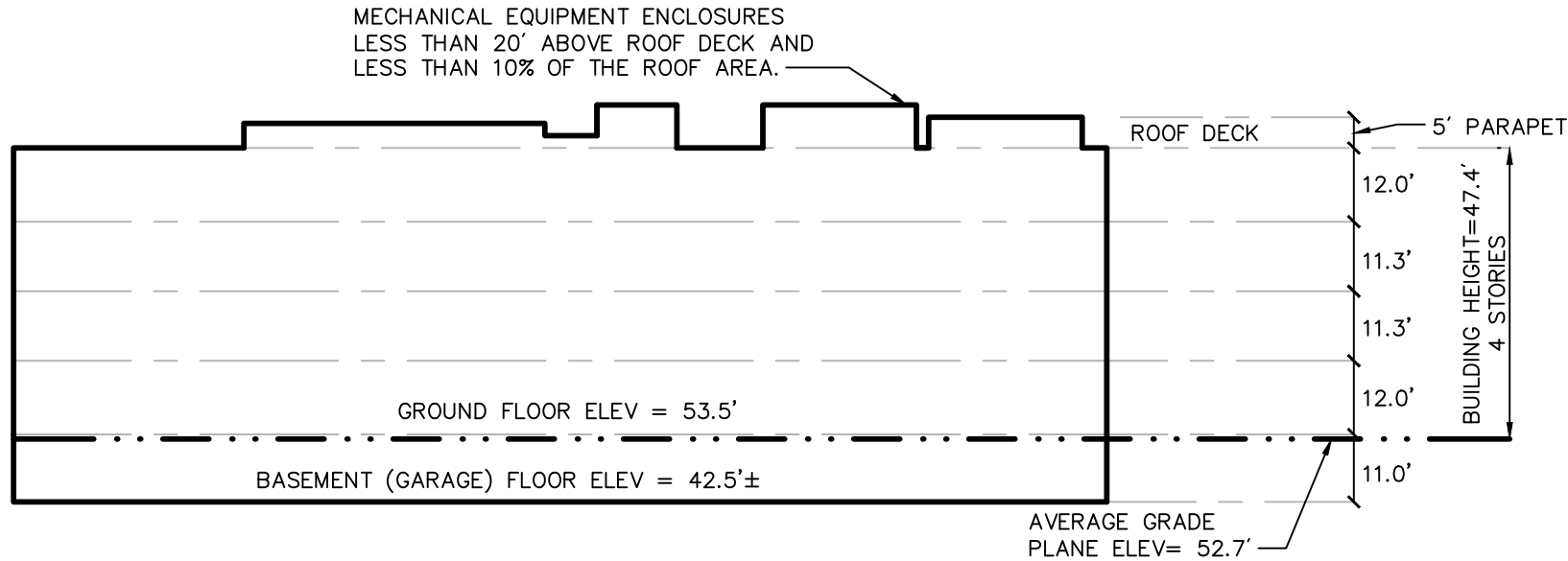
Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	9 x 19	9 x 19	37	42
STANDARD ACCESSIBLE SPACES *	12 x 19	12 x 19	2	3
VAN ACCESSIBLE SPACES	12 x 19	12 x 19	1	1
TOTAL SPACES			40	46

* ADA/STATE/LOCAL REQUIREMENTS

Parking Requirements (By Bed Count):

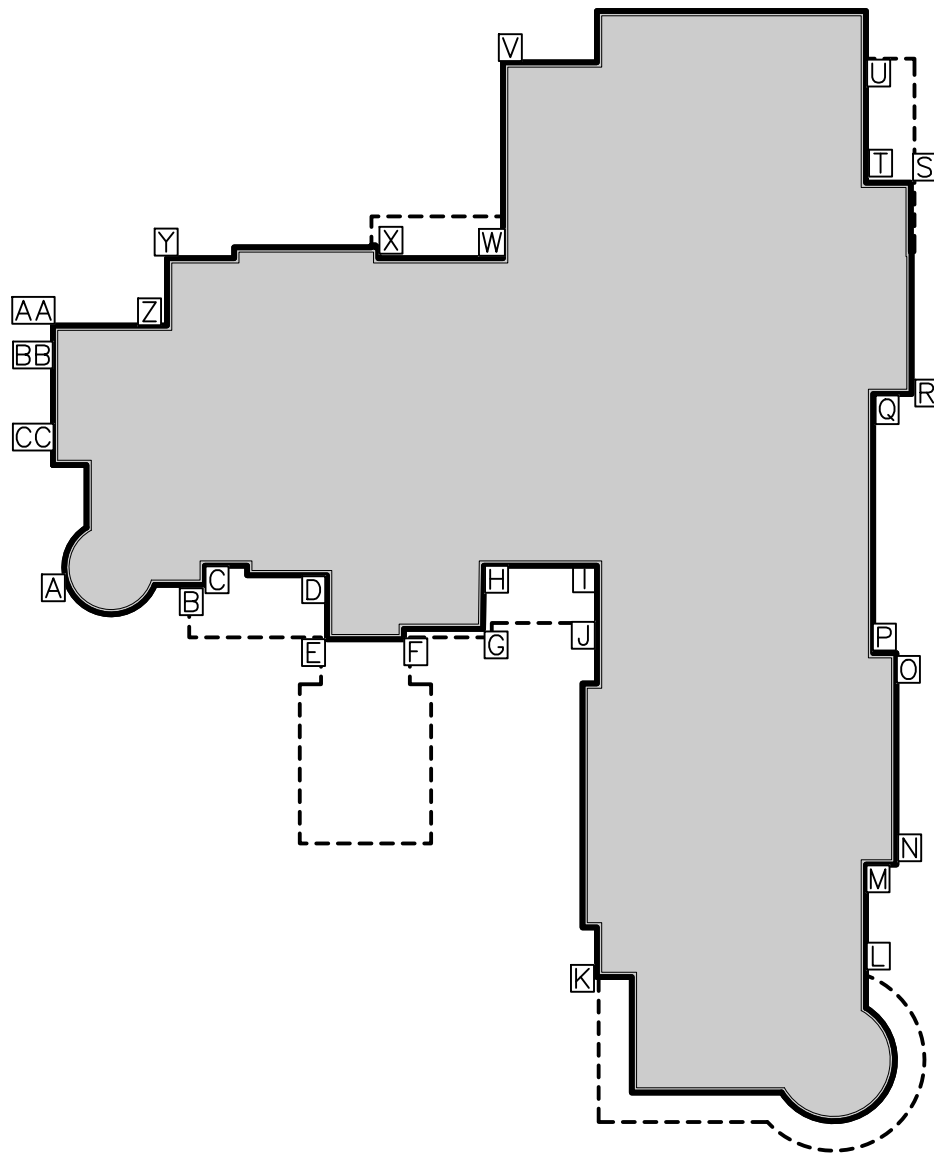
STALLS PER BED	122 BEDS	x	0.25 SPACES	/	BED	=	31 SPACES
SPACES PER EMPLOYEE	25 EMPLOYEES	x	0.33 SPACES	/	EMP	=	9 SPACES
TOTAL PARKING REQUIRED							= 40 SPACES



Building Height Detail

N.T.S.

Weighted Average Grade Plane Calculation						
Start Pt	End Pt	Start Elev	End Elev	Length (ft)	Avg Elev	Avg Elev x Length
A	B	52.0	53.3	36.6	52.7	1,928
B	C	53.3	53.5	4.0	53.4	214
C	D	53.5	53.5	28.1	53.5	1,504
D	E	53.5	53.4	13.3	53.5	713
E	F	53.4	53.4	15.4	53.4	820
F	G	53.4	53.4	18.7	53.4	997
G	H	53.4	53.5	13.7	53.5	730
H	I	53.5	53.5	24.2	53.5	1,295
I	J	53.5	53.4	12.3	53.5	656
J	K	53.3	52.6	79.9	53.0	4,228
K	L	53.4	53.4	113.3	53.4	6,052
L	M	53.4	54.0	22.5	53.7	1,208
M	N	54.0	54.0	6.3	54.0	342
N	O	54.0	54.0	43.4	54.0	2,341
O	P	54.0	54.0	4.8	54.0	261
P	Q	54.0	54.0	54.6	54.0	2,951
Q	R	54.0	54.0	7.8	54.0	423
R	S	54.0	54.0	43.4	54.0	2,341
S	T	53.4	53.5	9.3	53.5	499
T	U	53.5	53.5	26.2	53.5	1,401
U	V	52.6	52.6	95.2	52.6	5,009
V	W	53.1	53.5	40.8	53.3	2,175
W	X	53.5	53.5	26.6	53.5	1,426
X	Y	52.6	53.5	47.9	53.1	2,541
Y	Z	53.5	54.0	14.0	53.8	754
Z	AA	54.0	54.3	23.8	54.2	1,286
AA	BB	54.5	43.0	2.7	48.8	129
BB	CC	42.5	42.5	22.0	42.5	935
CC	A	43.0	45.5	34.1	44.3	1,507
Total Avg Elevation x Length						46,666
Total Length						884.9
Average Mean Grade Elevation						52.7



Sunrise of Newton

431 Washington St
Newton, Massachusetts

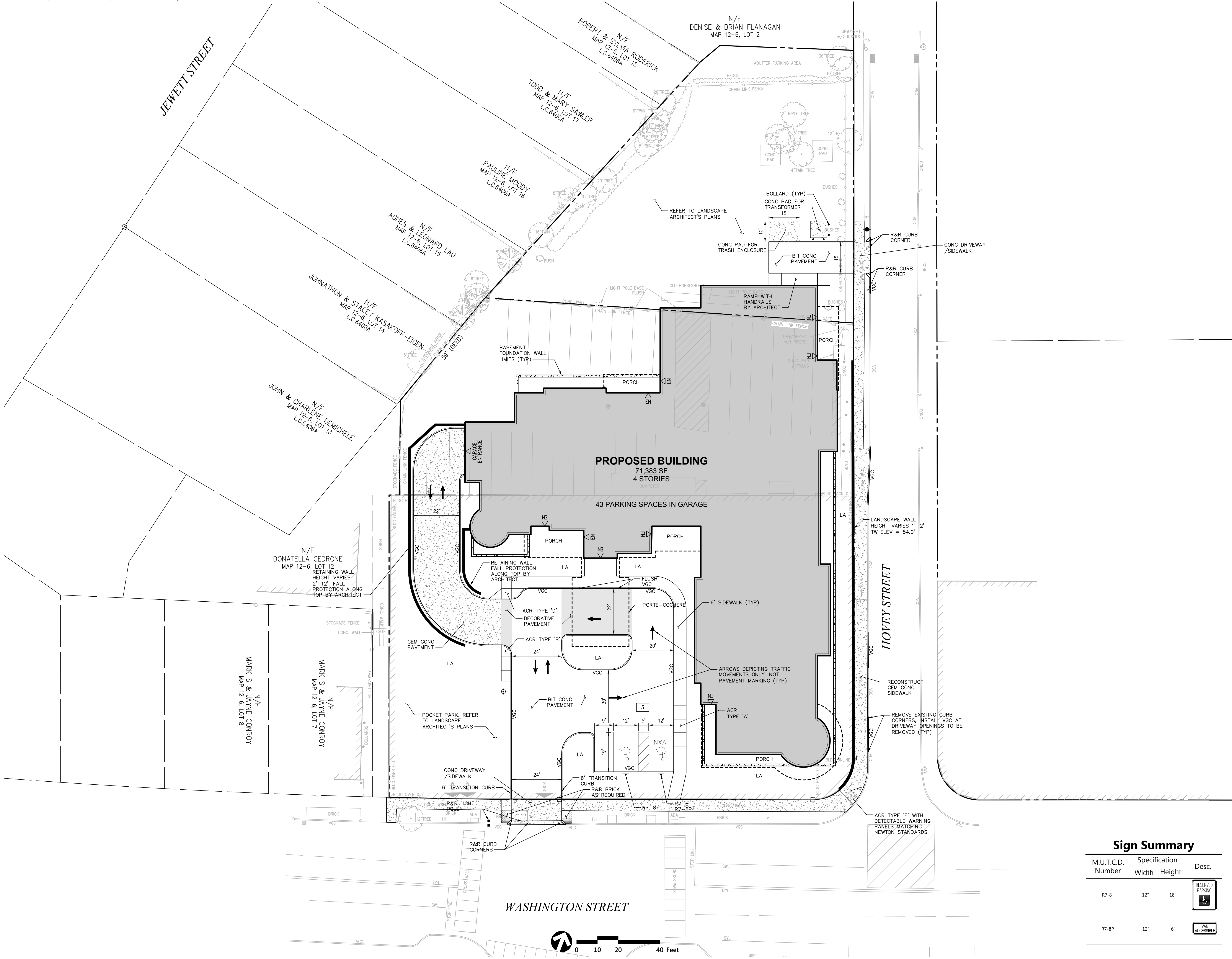
No.	Revision	Date	Appr'd.

Designed by	Checked by
WNM	CRQ

Issued for
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Drawing Title
Zoning Assessment Plan



vhb
101 Walnut Street
PO Box 9151
Watertown, MA 02471
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SUNRISE
SENIOR LIVING

Sunrise of Newton
431 Washington St
Newton, Massachusetts

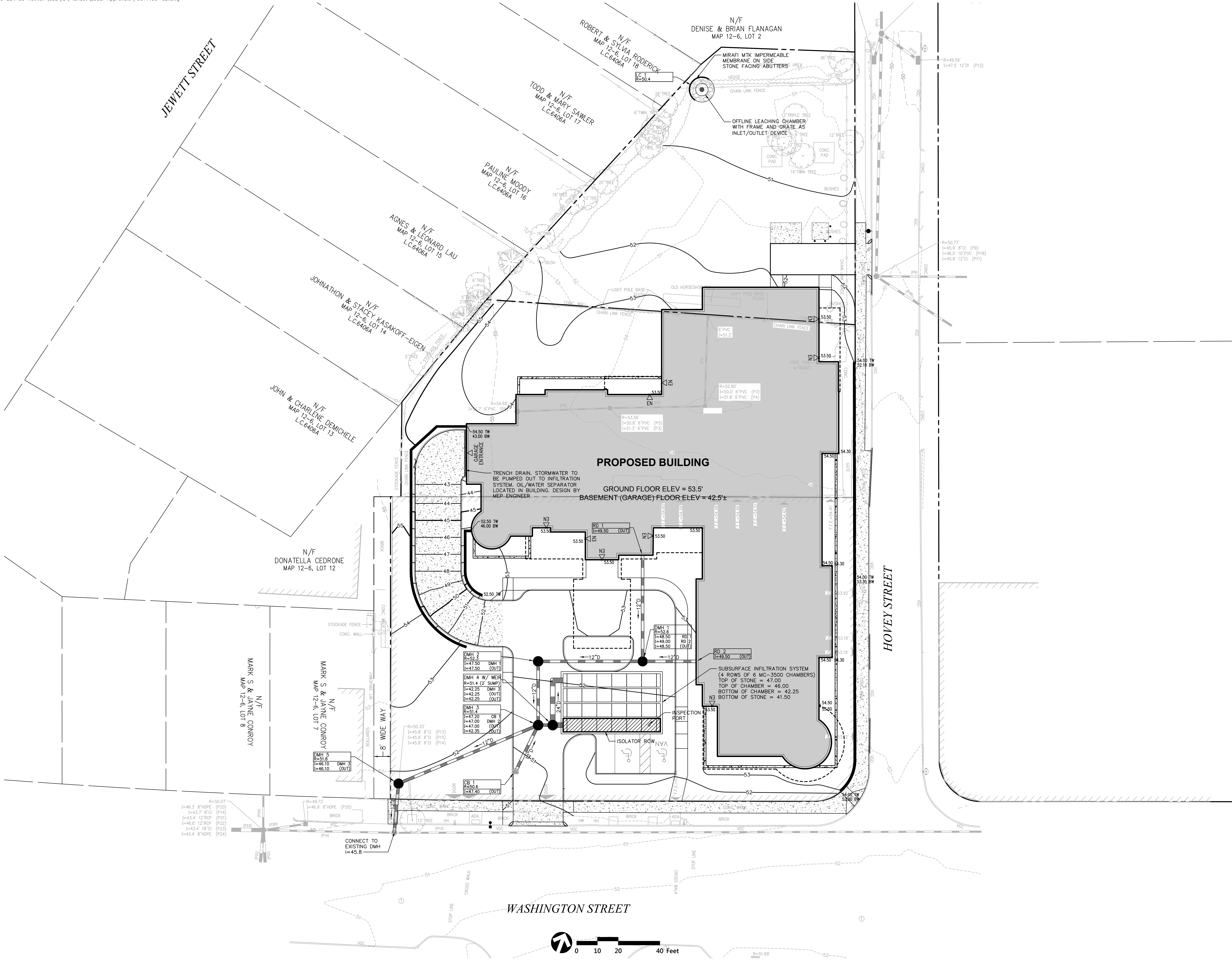
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Issued for _____ Date _____
Special Permit Application March 3, 2017

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Drawing Title
Layout and Materials Plan

Sign Summary			
M.U.T.C.D. Number	Specification Width	Height	Desc.
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	VAN ACCESSIBLE





vhb
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SUNRISE
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Sunrise of Newton
431 Washington St
Newton, Massachusetts

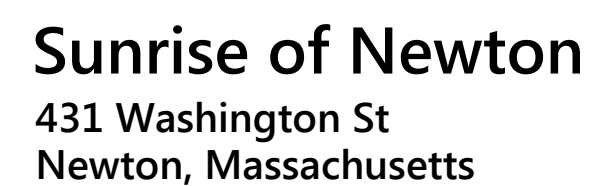
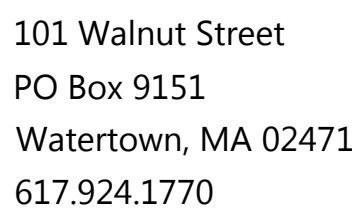
No.	Revision	Date	Appvd.

Designed by	Checked by
WNM	CRQ

Issued for
Special Permit Application March 3, 2017

Not Approved for Construction
Drawing Title
**Grading and
Drainage Plan**

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Sheet 6 of 11
Project Number
13677.00



Designed by	WNM	Checked by	CRQ
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Special Permit Application March 3, 2017

Not Approved for Construction

Utility Plan



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Project Number
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THE EROSION CONTROL MEASURES ON THIS PLAN SHOW TYPICAL APPLICATIONS TO PREVENT SEDIMENTATION AND EROSION, AND ARE PROVIDED AS A STARTING POINT FOR CONTRACTOR'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

1. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION, CONSTRUCTION MANAGER IS TO FILE CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONSTRUCTION MANAGER SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION, INSPECTION, AND REPAIR OF THE EROSION CONTROLS. THE OWNER SHALL BE RESPONSIBLE FOR INSPECTION AND OPERATION OF THE STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL LIMIT THE EXTENT OF DISTURBANCE AND STABILIZE SURFACES AS SOON AS POSSIBLE. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING (7 DAYS IF WITHIN 100 FEET OF A STREAM, POND OR WETLAND).
4. THE CONTRACTOR MAY ELECT TO CONSTRUCT TEMPORARY DIVERSION SWALES AND SETTLING BASINS IN PRESENTLY DISTURBED AREAS.
5. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (OFF-SITE AREAS, WETLAND RESOURCE AREAS, DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT AREAS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS, FILTERED CATCH BASIN INLETS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.
6. REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT BE CONDUCTED IN PROXIMITY TO CATCH BASINS.
7. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING BUILDING MATERIALS, IS ALLOWED.
8. NO MATERIALS SHALL BE DISPOSED OF INTO THE EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS, INCLUDING CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO DRAINAGE SYSTEMS.
9. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, WHICH SHALL INCLUDE STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.
10. ALL SITE WORK SHALL BE STABILIZED AT THE END OF THE WORK DAY OR PRIOR TO ANTICIPATED CONDITIONS WHICH COULD CAUSE EROSION OR AIR-BORNE SEDIMENT PROBLEMS (I.E., RAIN, HIGH WINDS, EXPOSED SURFACES OR STEEP SLOPES).

1. AN EROSION CONTROL BARRIER (SILT FENCE, STRAW WATTLE OR SILT SOCK) SHALL BE INSTALLED TO LIMIT THE AREA OF DISTURBANCE. THIS IS ESPECIALLY IMPORTANT ON PORTIONS OF THE SITE ADJACENT TO SENSITIVE AREAS. THESE BARRIERS SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. INSTALL EROSION CONTROL BARRIER TO AVOID EXISTING TREES AND UNDERBUSH TO MAXIMUM EXTENT POSSIBLE.
2. TEMPORARY STONE ACCESS AREAS SHALL BE ESTABLISHED AT THE DRIVEWAY ENTRANCES TO COLLECT ENTRAPPED SOILS AND SEDIMENT FROM CONSTRUCTION AND SERVICE VEHICLES ENTERING AND LEAVING THE SITE. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LADEN. THE CONSTRUCTION ENTRANCES SHALL BE LEFT IN PLACE UNTIL THE PERMANENT DRIVEWAY SURFACE IS INSTALLED.
3. THE CONTRACTOR SHALL ESTABLISH STAGING AREAS WITHIN THE AREA OF DISTURBANCE FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
4. CONSTRUCTION MATERIALS SHALL BE PILED IN SUCH A MANNER AS NOT TO CONCENTRATE RUNOFF.
5. IN THE STAGING AREA, THE CONSTRUCTION MANAGER SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, STRAW BALES, SILT FENCE AND CRUSHED STONE.
6. THE CONSTRUCTION MANAGER IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED AND WHEN NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN OR IN CONDITIONS ISSUED BY PERMITTING AUTHORITIES.

1. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN MORE THAN THREE WEEKS. RUNOFF SHALL BE DIRECTED AWAY FROM STOCKPILES.
2. STOCKPILES SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE, IN AREAS OF MINIMAL IMPACT.
3. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.

1. THE DRAINAGE SYSTEM SHALL BE INSTALLED FROM THE DOWNSTREAM END UP. SEDIMENT SHALL NOT BE ALLOWED TO ENTER THE SYSTEM. UNTREATED RUNOFF SHALL NOT BE ALLOWED TO DIRECTLY ENTER DRAINAGE SYSTEM FROM UNSTABILIZED SURFACES.
2. FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS DURING CONSTRUCTION THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):
 - 2.1. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SHALL BE EXCAVATED A MINIMUM OF 2' FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
 - 2.2. STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION BASIN(S)/STRUCTURE(S) DURING CONSTRUCTION
 - 2.3. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
 - 2.4. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
 - 2.5. THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.
3. SILT FENCES SHALL BE INSTALLED AT THE OUTFALLS OF ALL TEMPORARY BASINS AND SWALES. THEY SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY AREAS ARE STABILIZED.
4. UNTIL TRIBUTARY AREAS ARE STABILIZED FILTERED CATCH BASIN SILT SACKS SHALL COVER CATCH BASINS TO MINIMIZE SILTATION IN THE CATCH BASINS.
5. TRENCH EXCAVATIONS SHALL BE LIMITED TO THE MINIMUM LENGTH REQUIRED FOR DAILY PIPE INSTALLATION. ALL TRENCHES SHALL BE BACKFILLED AS SOON AS POSSIBLE. THE ENDS OF PIPES SHALL BE BLOCKED NIGHTLY WITH PLYWOOD.
6. IF UNSTABLE AREAS ARE ENCOUNTERED DUE TO NATURAL SPRINGS OR GROUNDWATER BREAKOUT, INTERCEPTOR DRAINS SHALL BE INSTALLED TO DIRECT THE RUNOFF INTO THE DRAINAGE SYSTEM.
7. ALL SWALES MUST BE MAINTAINED AND KEPT FREE OF OBSTRUCTIONS TO ALLOW UNIMPEDED FLOW.
8. THE BINDER COURSE OF PAVEMENT WITH BERMS SHALL BE INSTALLED AS SOON AS FEASIBLE AS THIS AREA WILL FUNCTION AS A CONDUIT FOR RUNOFF.
9. IMMEDIATELY FOLLOWING PAVING THE SHOULDERS SHALL BE GRADED, LOAMED AND SEEDED AND MULCHED IF NECESSARY. ALL SURFACES SHOULD BE RAPIDLY AND THOROUGHLY STABILIZED TO THEIR FINAL CONDITION TO AVOID ENTRY OF SEDIMENTS IN THE DRAINAGE SYSTEM.
10. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.



No.	Revision	Date	Appd.

Special Permit Application March 3, 2017

Drawing Number

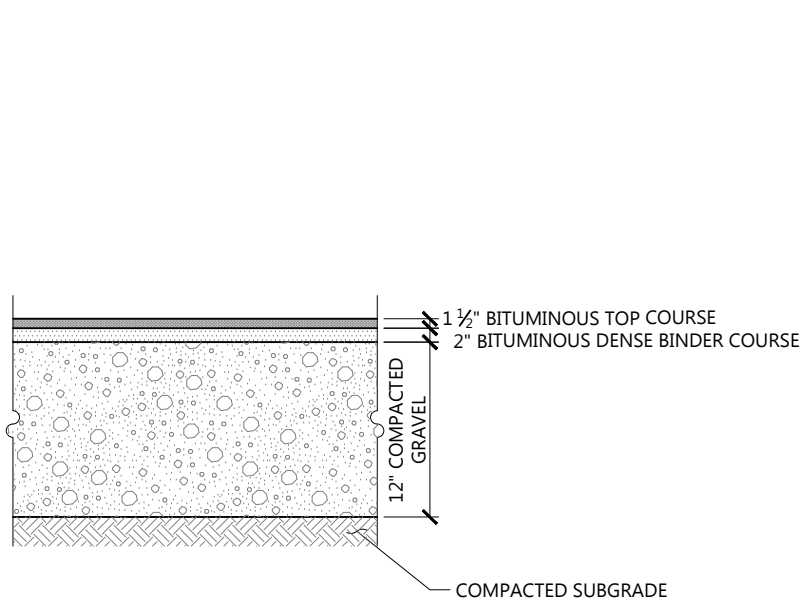
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Project Number

13677.00

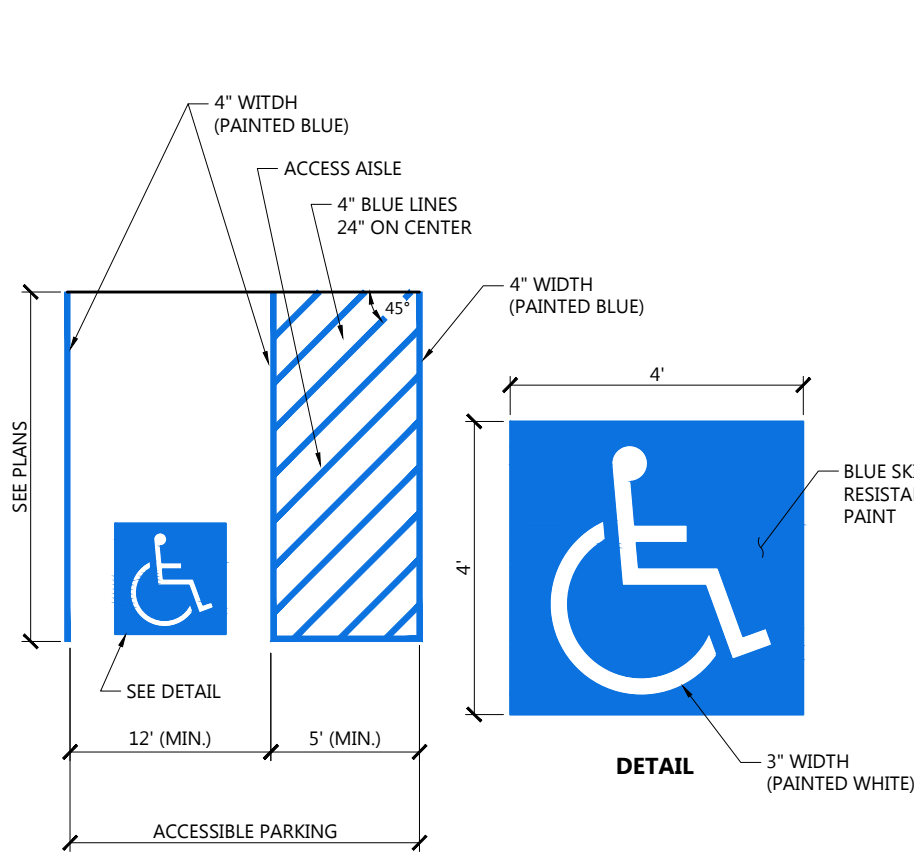


STANDARD DUTY FLEXIBLE PAVEMENT

NOTES

PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

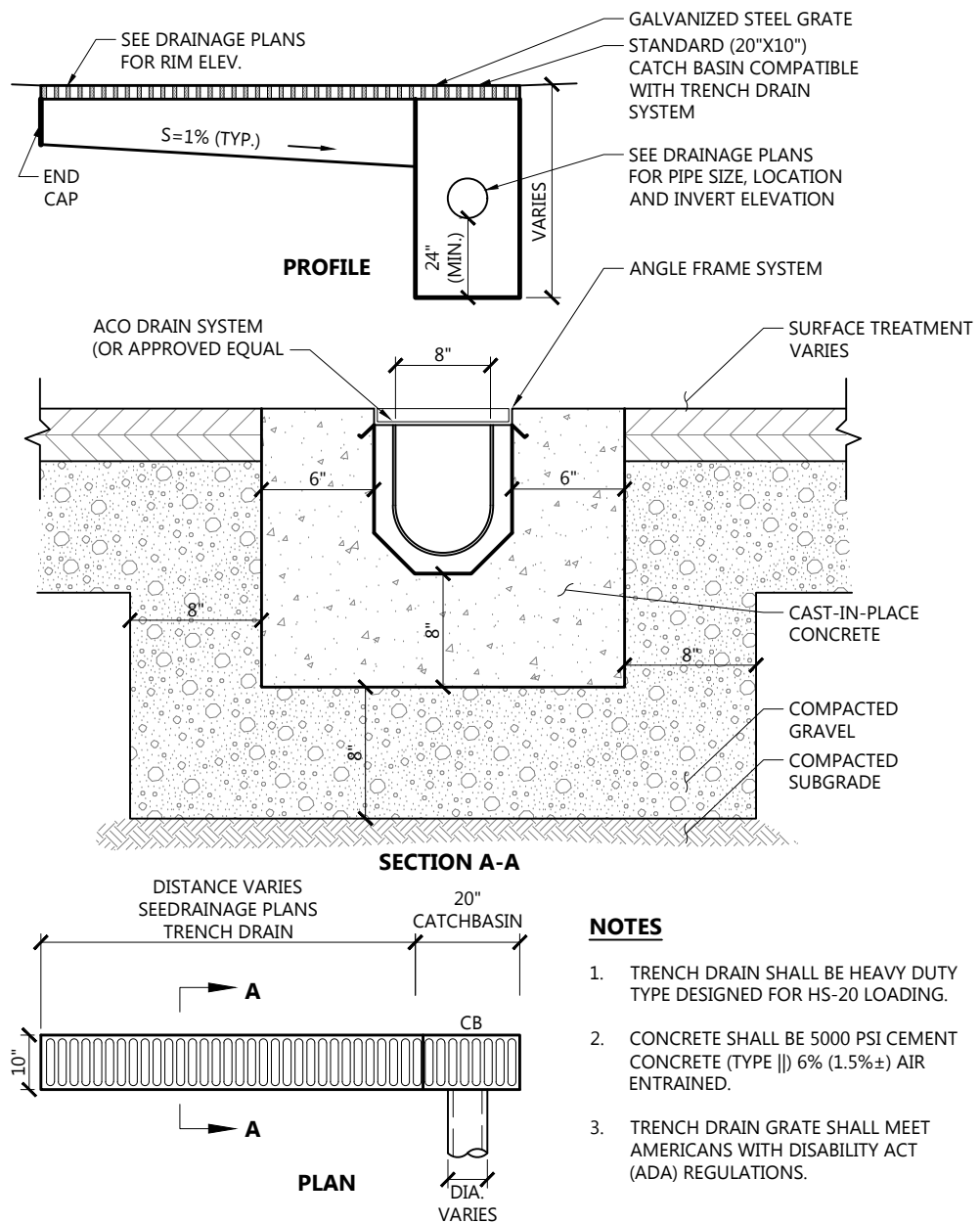
Bituminous Concrete Pavement Sections		1/16
N.T.S.	Source: VHB	LD_430



NOTES

1. ALL DIMENSIONS TO EDGES OF 4\"
2. 8\"
3. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.
4. ACCESS AISLE MEASURED BETWEEN OUTSIDE EDGES OF PAVEMENT MARKINGS.

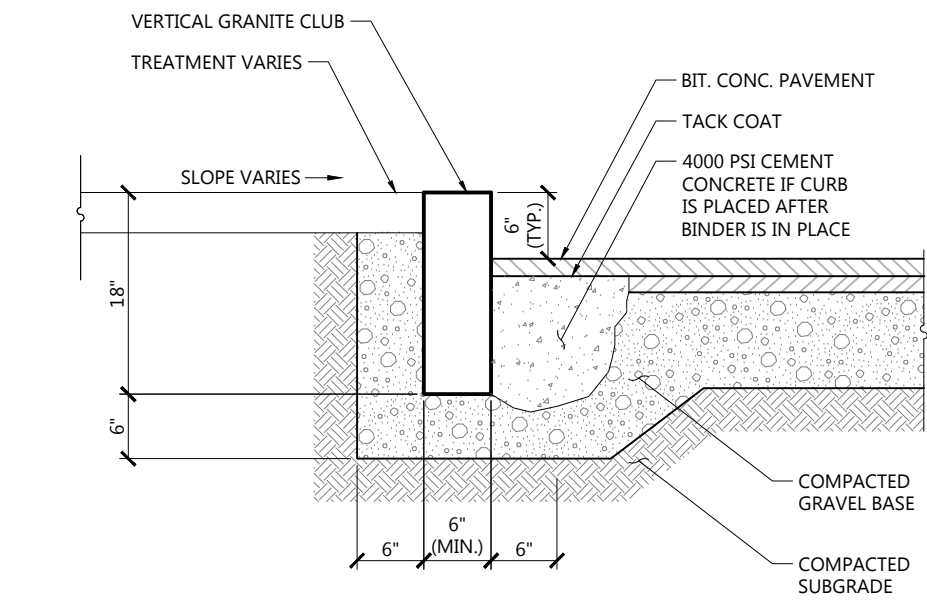
Accessible Parking Space		1/16
N.T.S.	Source: VHB	LD_552B



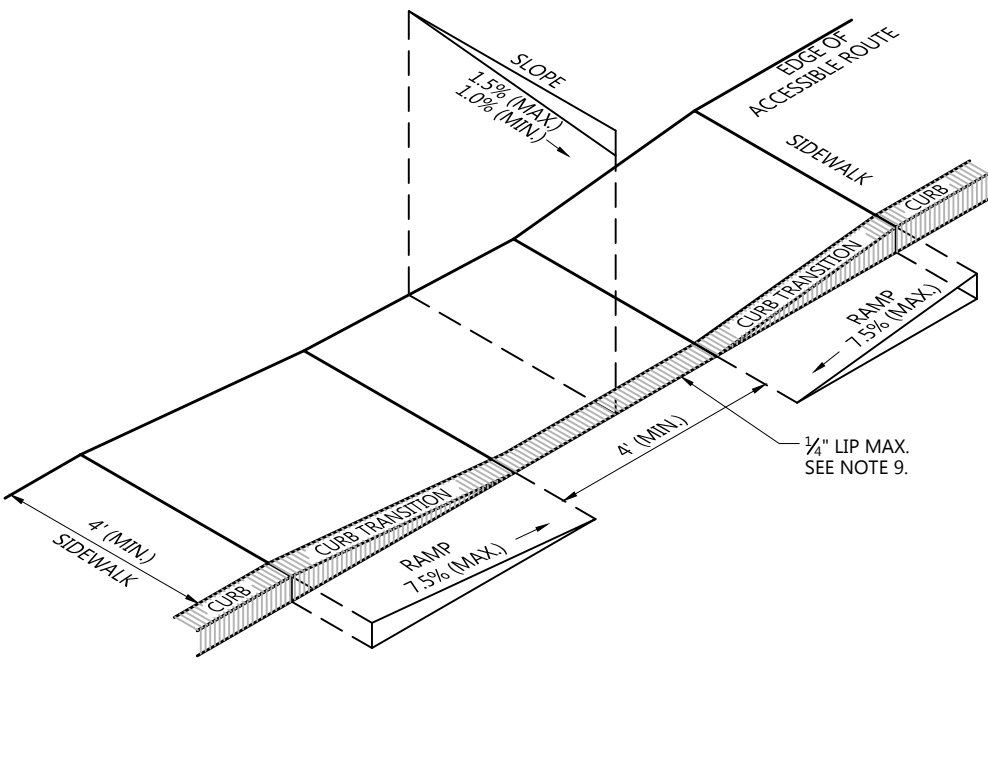
NOTES

1. TRENCH DRAIN SHALL BE HEAVY DUTY TYPE DESIGNED FOR HS-20 LOADING.
2. CONCRETE SHALL BE 5000 PSI CEMENT CONCRETE (TYPE II) 6% (1.5%+) AIR ENTRAINED.
3. TRENCH DRAIN GRATE SHALL MEET AMERICANS WITH DISABILITY ACT (ADA) REGULATIONS.

Trench Drain (Type A)		1/16
N.T.S.	Source: VHB	LD_190-A



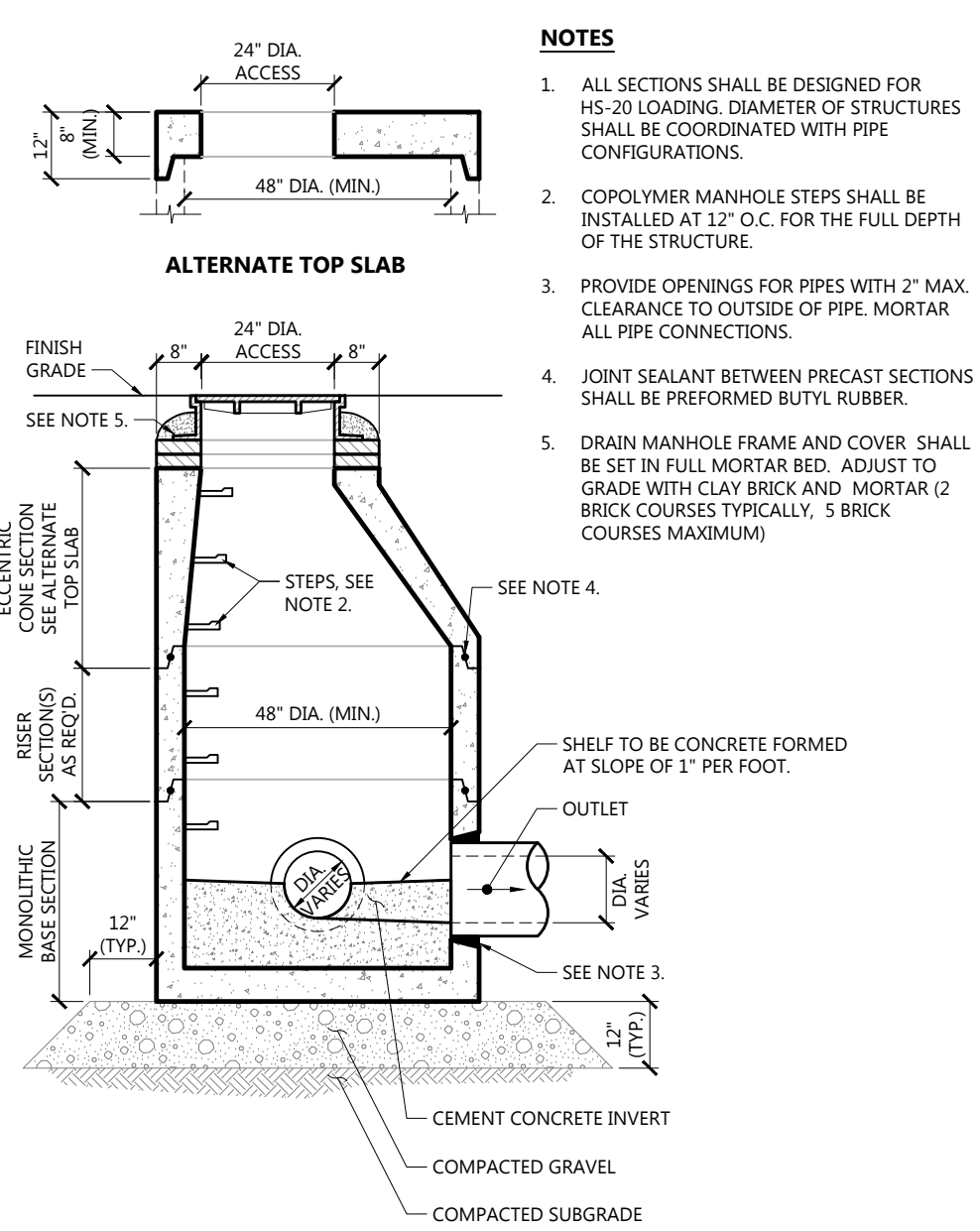
Vertical Granite Curb (VGC)		1/16
N.T.S.	Source: VHB	LD_402



NOTES

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%/%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.

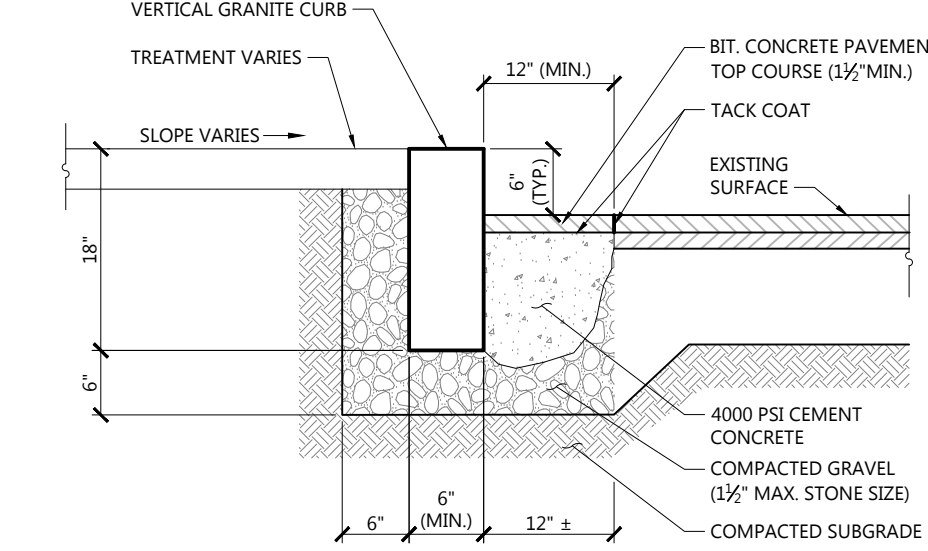
Accessible Curb Ramp (ACR) Type 'A'		1/16
N.T.S.	Source: VHB	LD_500



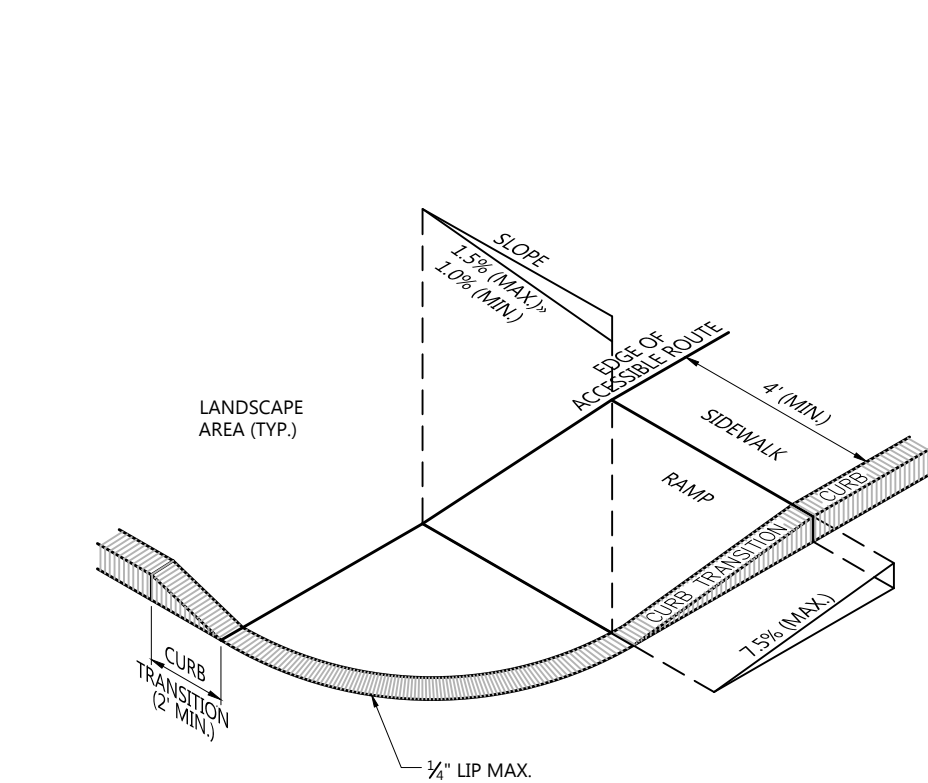
NOTES

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING. DIAMETER OF STRUCTURES SHALL BE COORDINATED WITH PIPE CONFIGURATIONS.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12\"
3. PROVIDE OPENINGS FOR PIPES WITH 2\"
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

Drain Manhole (DMH)		1/16
N.T.S.	Source: VHB	LD_115



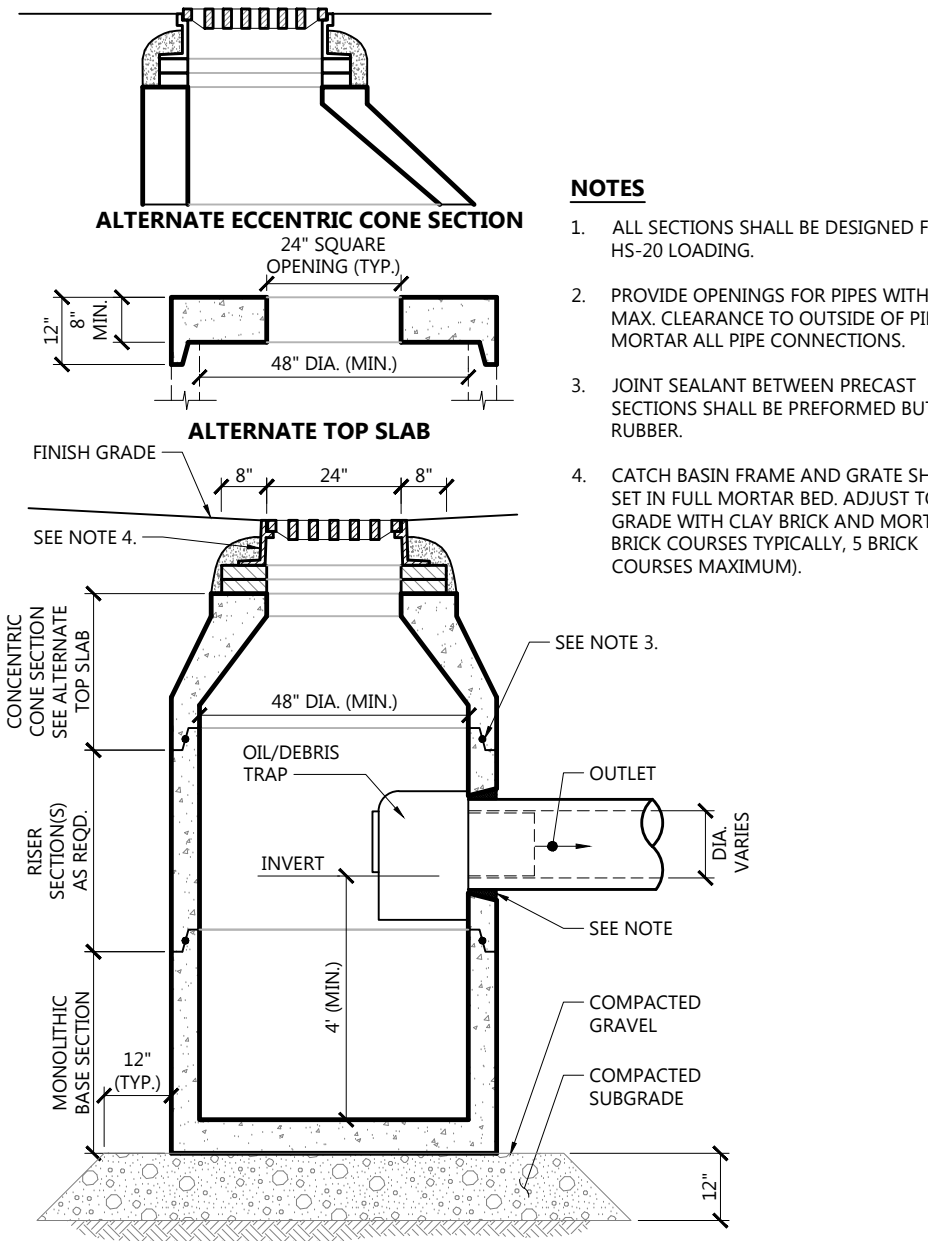
Vertical Granite Curb (VGC) Set In Existing Pavement		1/16
N.T.S.	Source: VHB	LD_403



NOTES

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

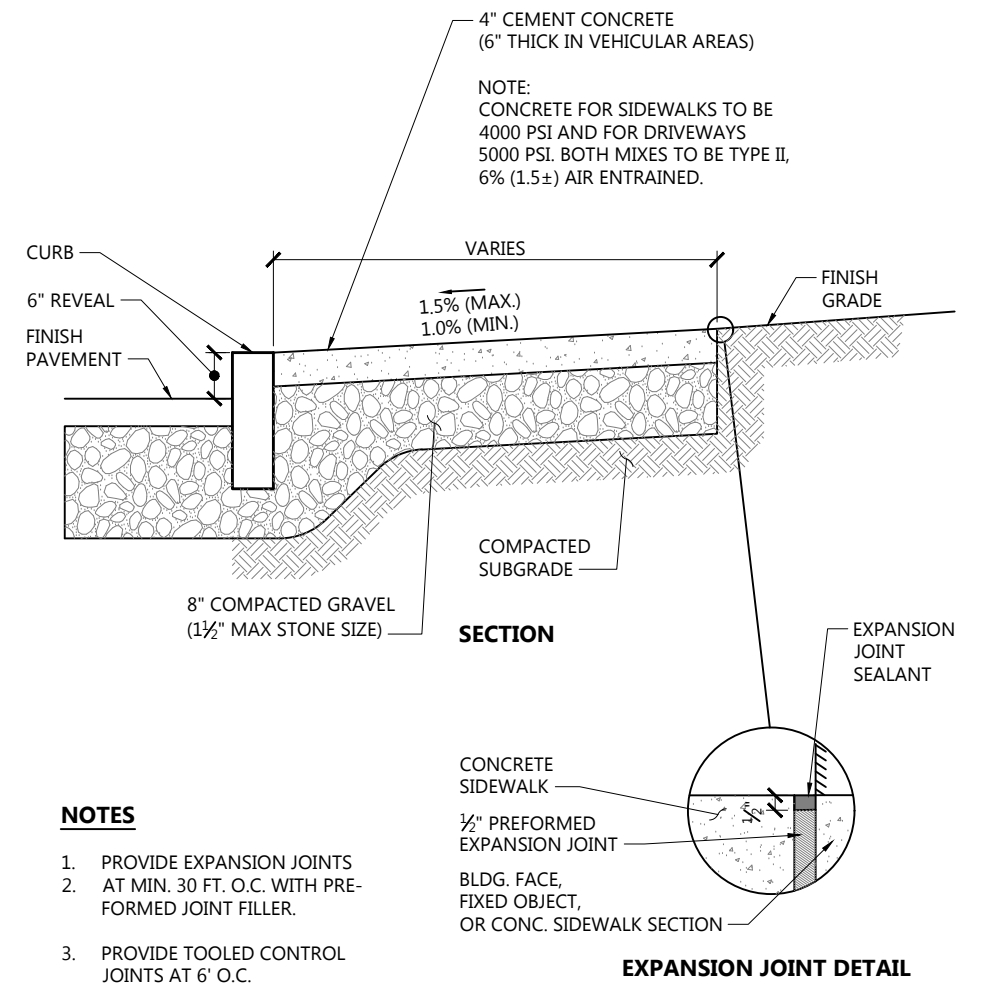
Accessible Curb Ramp (ACR) - Type 'B'		1/16
N.T.S.	Source: VHB	LD_501



NOTES

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE OPENINGS FOR PIPES WITH 2\"
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
4. CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

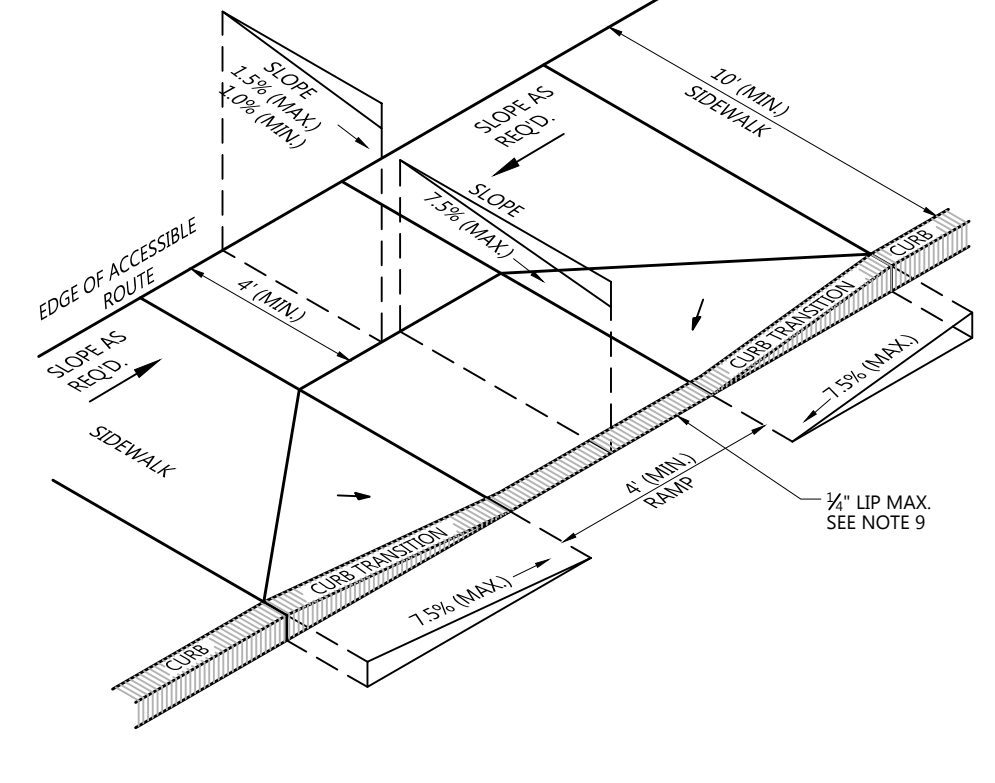
Catch Basin (CB) With Oil/Debris Trap		1/16
N.T.S.	Source: VHB	LD_101



NOTES

1. PROVIDE EXPANSION JOINTS
2. AT MIN. 30 FT. O.C. WITH PREFORMED JOINT FILLER.
3. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

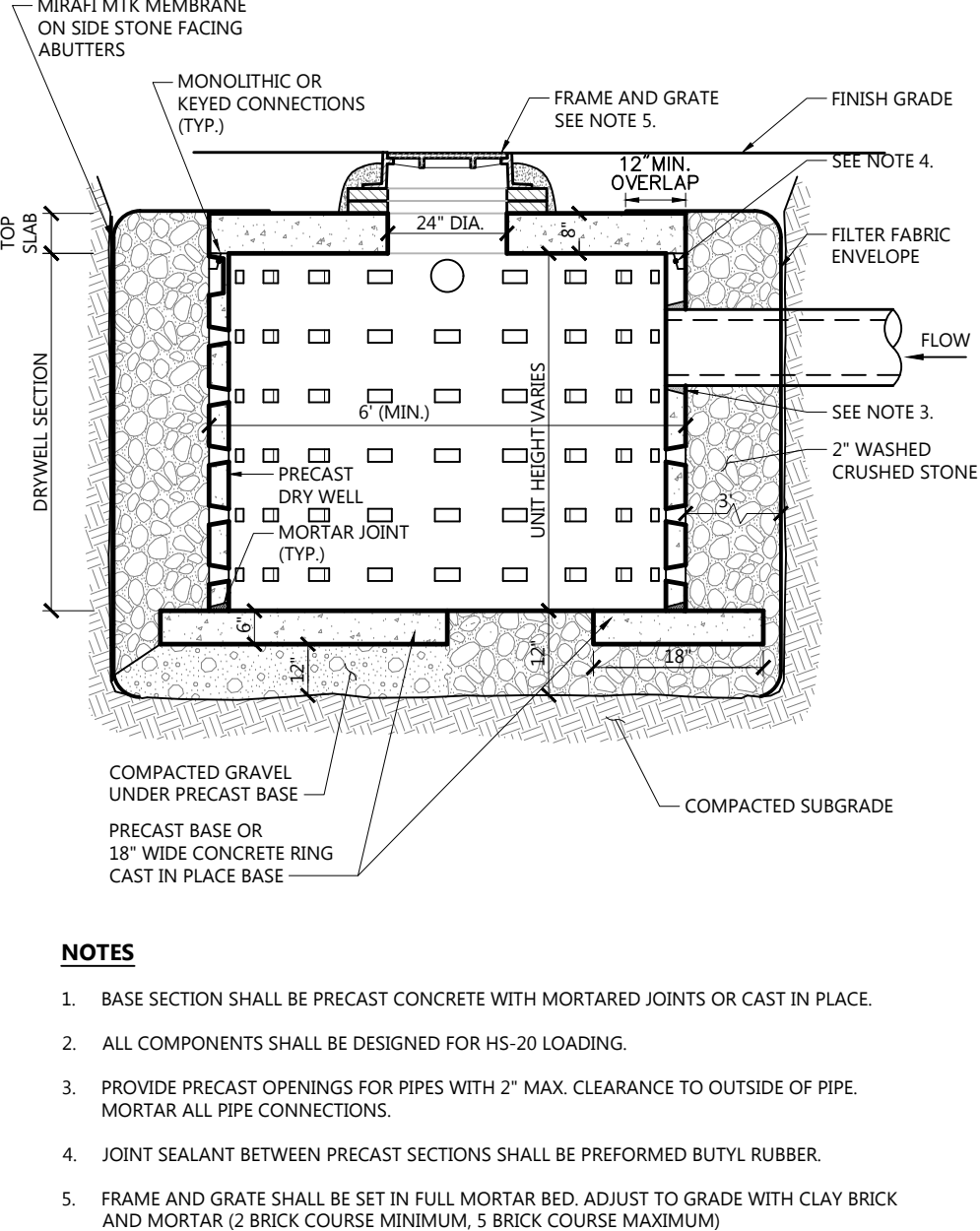
Concrete Sidewalk		1/16
N.T.S.	Source: VHB	LD_420



NOTES

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

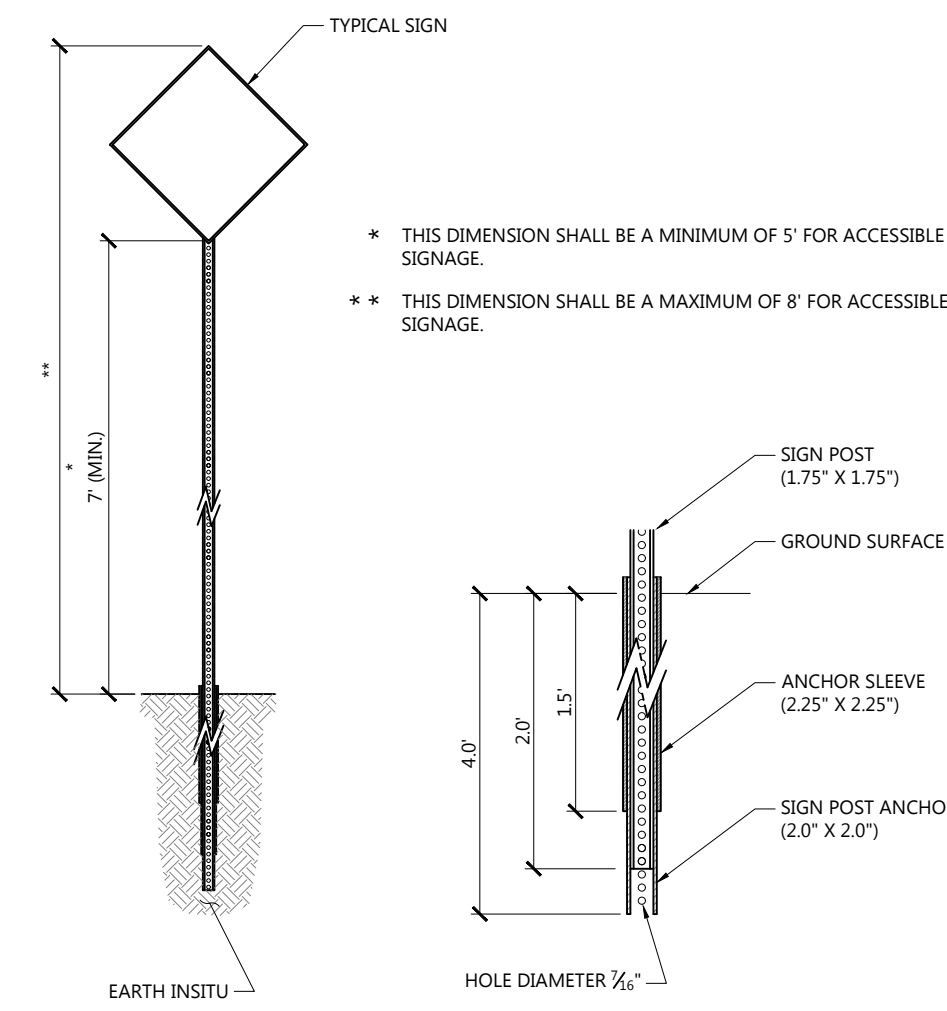
Accessible Curb Ramp (ACR) Type 'D'		1/16
N.T.S.	Source: VHB	LD_503



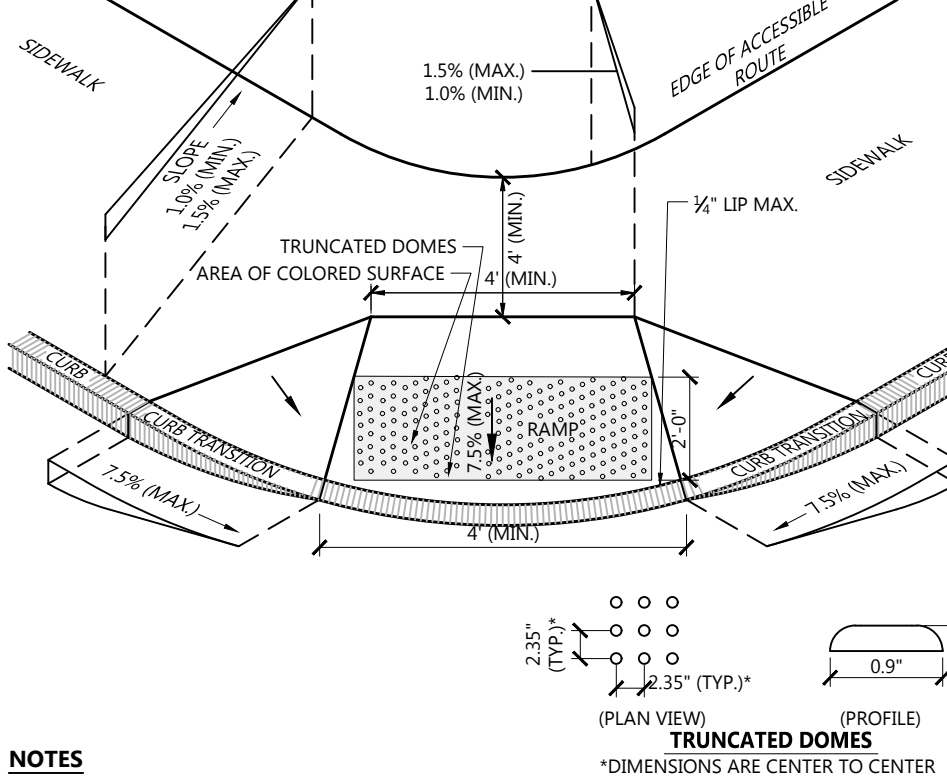
NOTES

1. BASE SECTION SHALL BE PRECAST CONCRETE WITH MORTARED JOINTS OR CAST IN PLACE.
2. ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
3. PROVIDE PRECAST OPENINGS FOR PIPES WITH 2\"
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM).

Leaching Chamber (LC)		1/16
N.T.S.	Source: VHB	LD_180



Sign Post - Type 'B'		1/16
N.T.S.	Source: VHB	LD_702



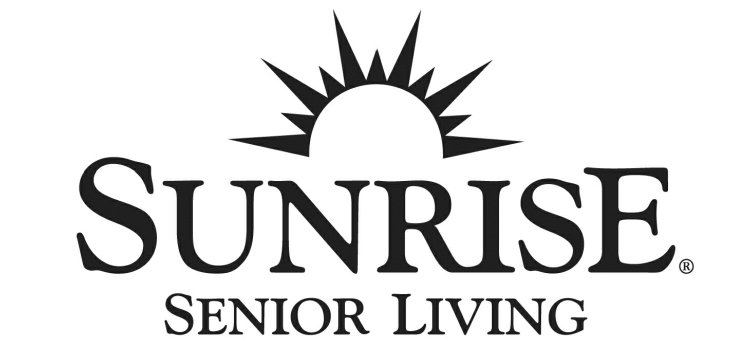
NOTES

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

Accessible Curb Ramp (ACR) Type 'E'		1/16
N.T.S.	Source: VHB	LD_504



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Sunrise of Newton
431 Washington St
Newton, Massachusetts

No.	Revision	Date	Appr.

Designed by WNN	Checked by CRQ
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Issued for
Special Permit Application March 3, 2017

Not Approved for Construction

Site Details

Drawing Number



C-9.1

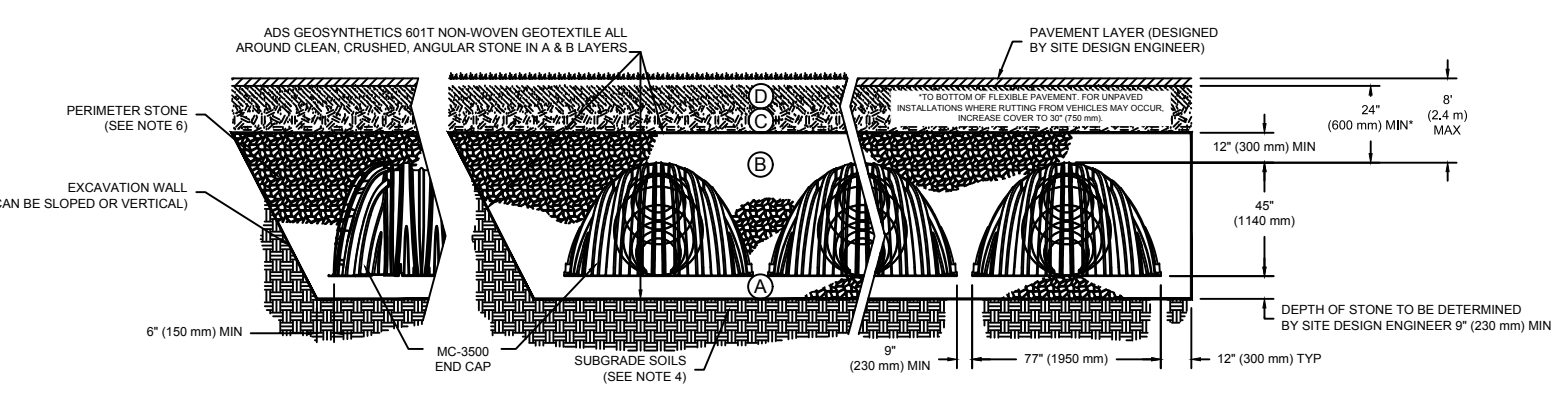
Sheet 9 of 11

Project Number
13677.00

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D FINAL FILL: FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE "C" LAYER TO THE BOTTOM OF LAYER E. IF PAVEMENT OR UNPAVED PAVED GRADE ABOVE, NOTE THAT PAVEMENT SUBGRADE MAY BE PART OF THE "C" LAYER.	ANY SOLID ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLAN. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEERS PLANS. PAVED INSTALLATIONS MAY HAVE FINEST MATERIAL AND PREPARATION REQUIREMENTS.
C INITIAL FILL: FILL MATERIAL FOR LAYER "C" STARTS FROM THE TOP OF THE EMBANKMENT STONE "B" LAYER TO 4" (100 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBGRADE MAY BE PART OF THE "C" LAYER.	GRANULAR WELL-GRADED SOLID AGGREGATE MATERIALS, <3% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBGRADE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M407 A-1, A-2, A-3 OR AASHTO M437 3, 3.5, 4, 4.5, 5, 5.5, 6, 6.5, 7, 7.5, 8, 8.5, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL. OVER THE CHAMBERS IS REQUIRED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO MIN. 90% PROCTOR DENSITY FOR WELL-GRADED MATERIAL, AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B EMBANKMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ("A" LAYER) TO THE "C" LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M437 S-4	NO COMPACTION REQUIRED.
A FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE FUNDAMENTAL UP TO THE BOTTOM OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M437 S-4	FLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. 11

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. A SPECIFICATION FOR #41 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR, #41 STONE, 100% PASSING NO. 4 SIEVE, 100% RETAINED NO. 10 SIEVE."
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR "A" LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 12" (300 mm) MAX LIFTS USING TWO (2) FLAT COVERS WITH A VIBRATORY COMPACTOR. WHERE THE TRACTION SURFACE MAY BE COMPROMISED BY COMPACTION, FOR STAGNANT DESIGN AND CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY TAMPING OR GRADING WITH APPROPRIATE EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2707 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL, LOCATION, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBANKMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER "C" IS PLACED, ANY SOLID MATERIAL CAN BE PLACED IN LAYER "C" UP TO THE FINISHED GRADE. MOST PAVEMENT SUBGRADE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER "C" OR "D" AT THE SITE DESIGN ENGINEER'S DISCRETION.

MC-3500 Cross Section Detail

N.T.S.

Source: Stormtech

11/14

TABLE OF DIMENSIONS											
BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11 3/4"	8"	15"	12"	24"	6" 4/5"	8"	30"	12"	24"	14"	
6" 22 3/4"		19"			13"	6" 9/10"		30"			27"
8" 11 3/4"		20"			12"	8" 4/5"		30"			24"
8" 22 3/4"		22"			17"	8" 9/10"		38"			36"
12" 11 3/4"		30"			15"	12" 4/5"		40"			40"
12" 22 3/4"		35"			25"	12" 9/10"		60"			52"

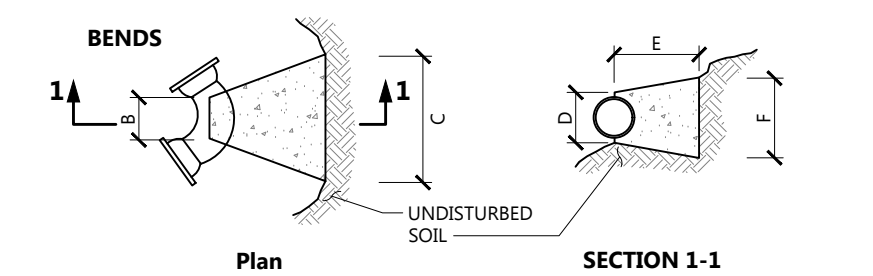
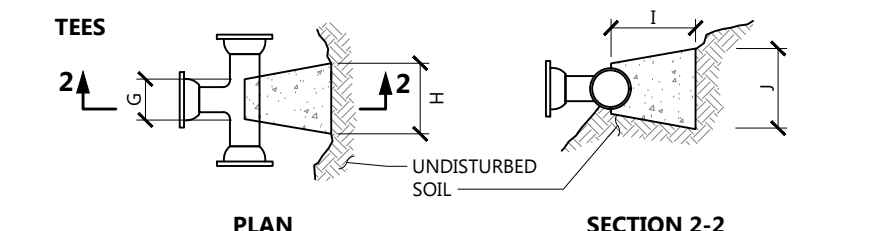


TABLE OF DIMENSIONS									
TEES	G	H	I	J	TEES	G	H	I	J
6"X6"X6"	12"	24"	24"	18"	12"X12"X6"	12"	24"	24"	18"
8"X8"X6"	"	"	"	"	12"X12"X8"	"	"	"	24"
8"X8"X8"	"	"	"	24"	12"X12"X12"	"	36"	"	36"



NOTES

- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
- CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
- CONCRETE SHALL BE 3,000 PSI-TYPE I.

Concrete Thrust Block

N.T.S.

Source: VHB

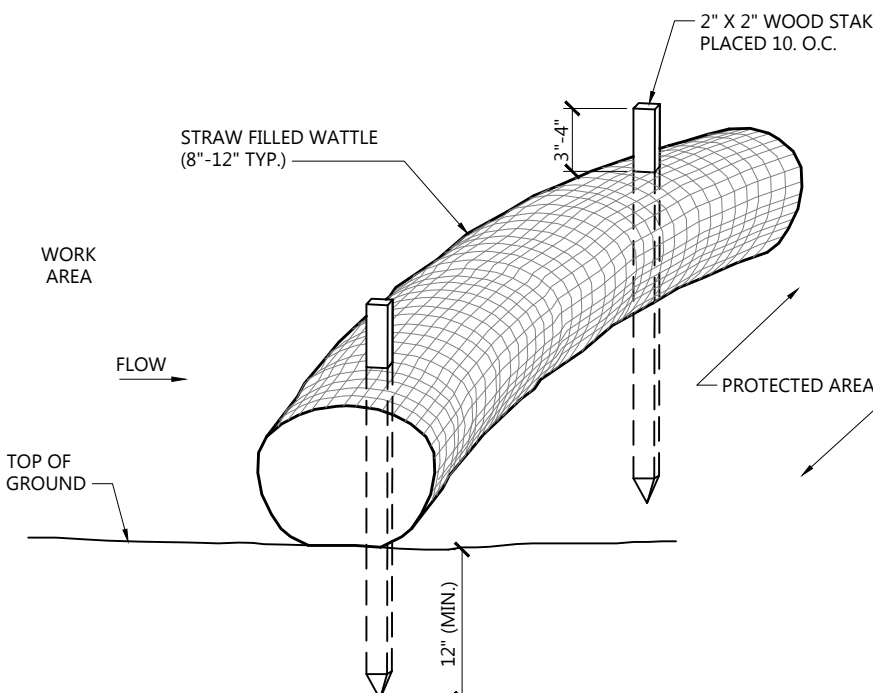
Utility Trench

N.T.S.

Source: VHB

1/16

LD_260



NOTES

- STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER OR APPROVED EQUAL.
- STRAW WATTLES SHALL OVERLAP A MINIMUM OF 12 INCHES.
- STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
- TEMPORARY STRAW WATTLES TO BE REMOVED BY CONTRACTOR. ALL OTHERS TO REMAIN IN PLACE UNLESS DIRECTED OTHERWISE BY ENGINEER.
- IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Straw Wattle - Erosion Control Barrier

N.T.S.

Source: VHB

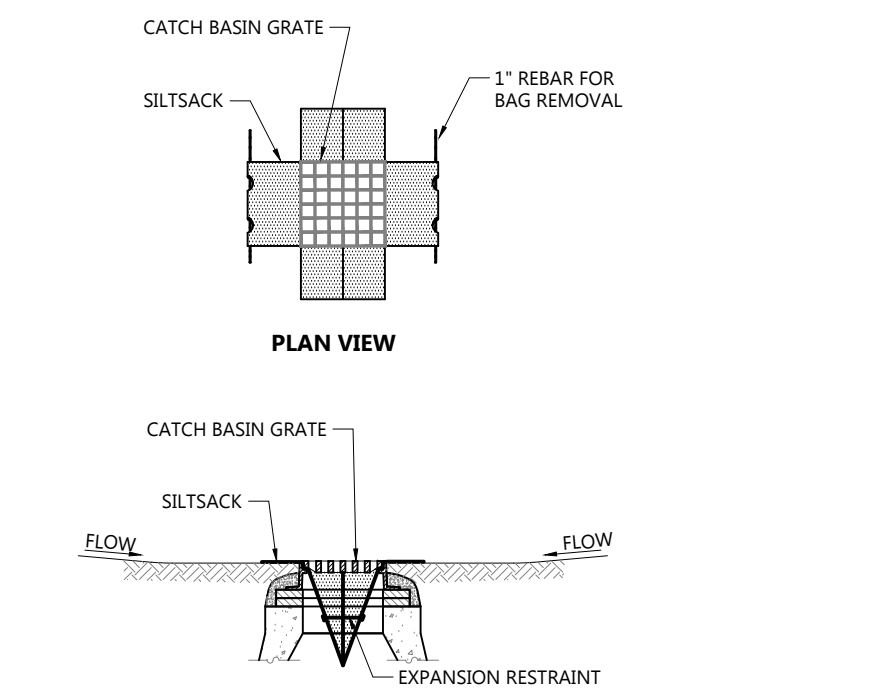
Siltsack Sediment Trap

N.T.S.

Source: VHB

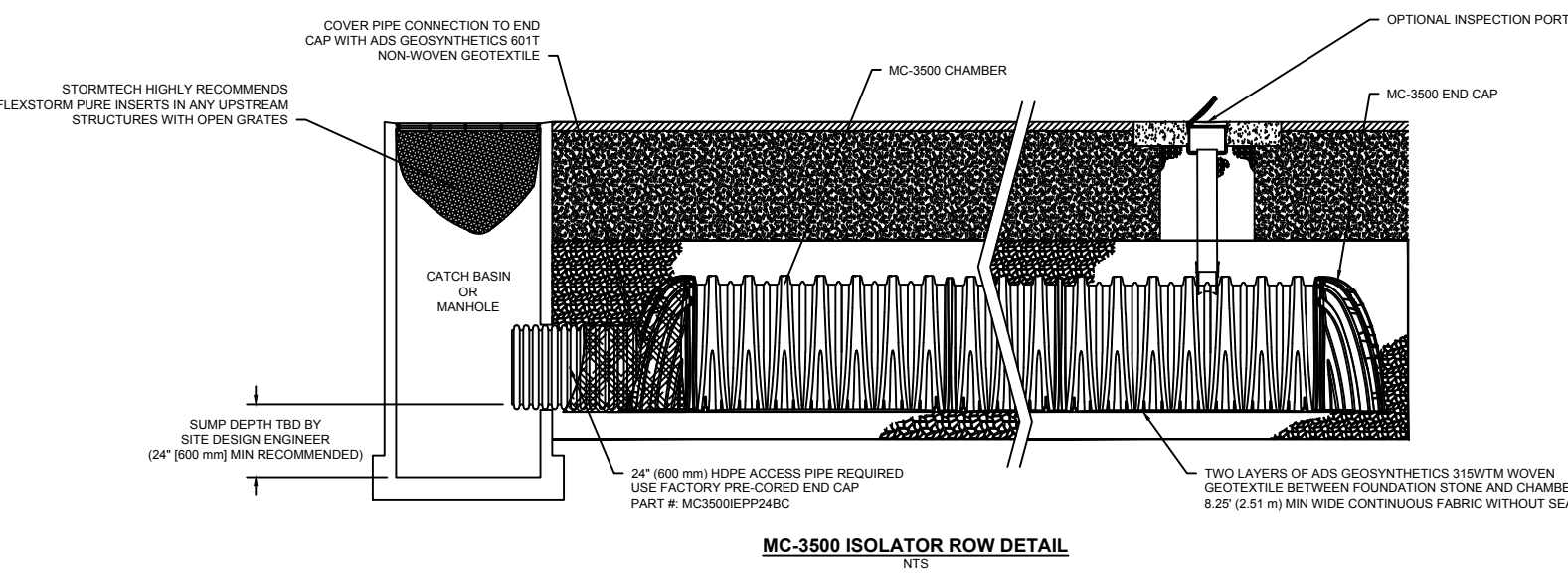
1/16

LD_674



NOTES

- INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
- GRATE TO BE PLACED OVER SILTSACK.
- SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.



INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEGMENT
A. INSPECTION PORTS IF PRESENT
A.1. REMOVE COVER LID
A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
A.3. USING A LAMBERT AND STADA ROD, MEASURE DEPTH OF SEGMENT AND RECORD ON MAINTENANCE LOG
A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEGMENT LEVELS (OPTIONAL)
A.5. IF SEGMENT IS AT, OR ABOVE, 1' (300 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE FOLLOWING PROCEDURE:
A. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
B.1. REMOVE A LAMBERT AND STADA ROD, MEASURE DEPTH OF SEGMENT AND RECORD ON MAINTENANCE LOG
B.2. FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
B.3. IF SEGMENT IS AT, OR ABOVE, 1' (300 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 3) CLEAN OUT ISOLATOR ROW USING THE FOLLOWING PROCEDURE:
A. ATTED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 40" (1.1 m) OR MORE IS PREFERRED
A.1. USE A LAMBERT AND STADA ROD, MEASURE DEPTH OF SEGMENT AND RECORD ON MAINTENANCE LOG
A.2. VACUUM STRUCTURE SLUMP AS REQUIRED
- STEP 4) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS.
- STEP 5) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

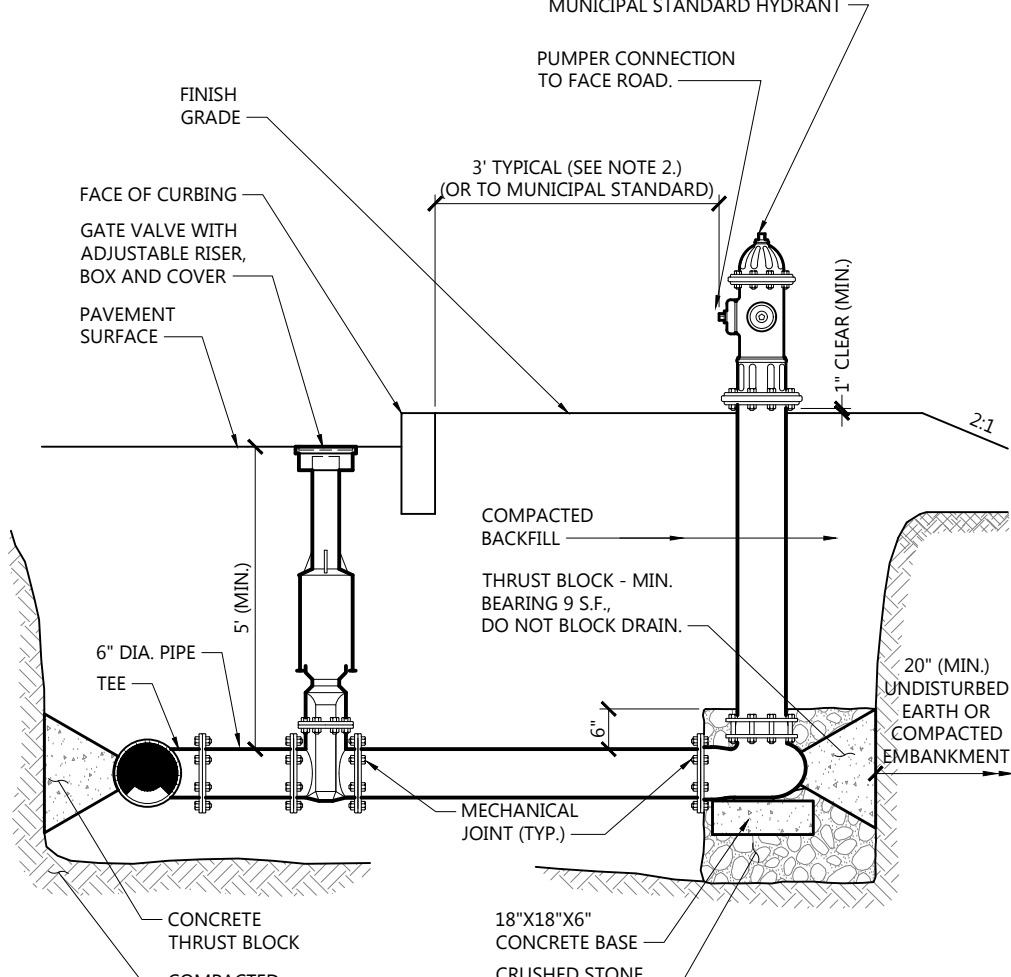
- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEGMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUIT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

MC-3500 Isolator Row Profile Detail

N.T.S.

Source: Stormtech

11/14



NOTES

- CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH AS SHOWN. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.
- HYDRANT IN SIDEWALK AREAS TO BE LOCATED TO PROVIDE MINIMUM CLEAR SIDEWALK PASSAGE WIDTH OF 3 FEET AT HYDRANT.

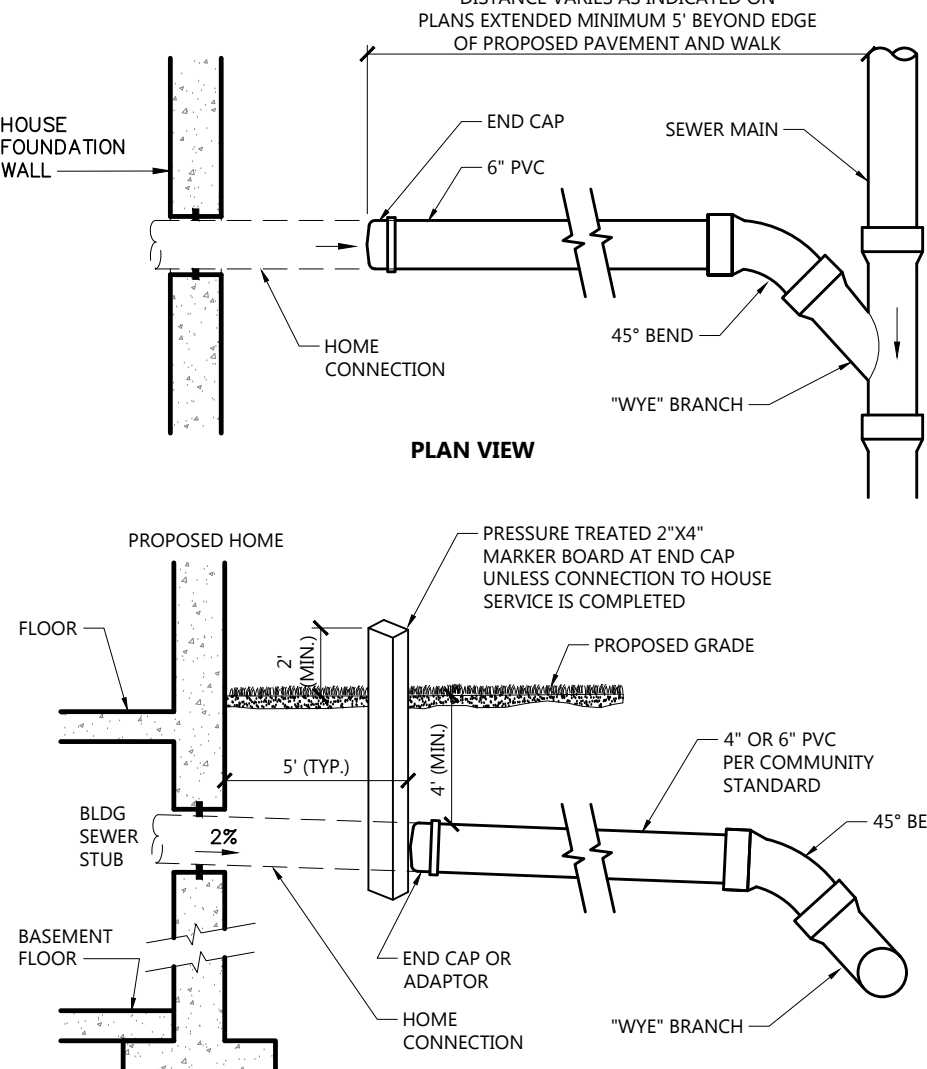
Hydrant Construction

N.T.S.

Source: VHB

1/16

LD_250



NOTES

- PIPE AND FITTING MATERIALS TO BE PVC SDR35, MEETING ASTM 3034 FOR USE WITH SANITARY SEWER SYSTEMS.
- ADAPTOR TO BE PREMANUFACTURED UNIT FOR CONNECTION OF PIPE TYPES

Typical Wye Connection Detail (Residential)

N.T.S.

Source: VHB

1/16

LD_223

vhb.com

vhb

101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

SUNRISE
SENIOR LIVING

Sunrise of Newton
431 Washington St
Newton, Massachusetts

No.	Revision	Date	Appr.

Designed by	WNM	Checked by	CRQ
Issued for		Date	

Special Permit Application March 3, 2017

Not Approved for Construction

Drawing Title
Site Details

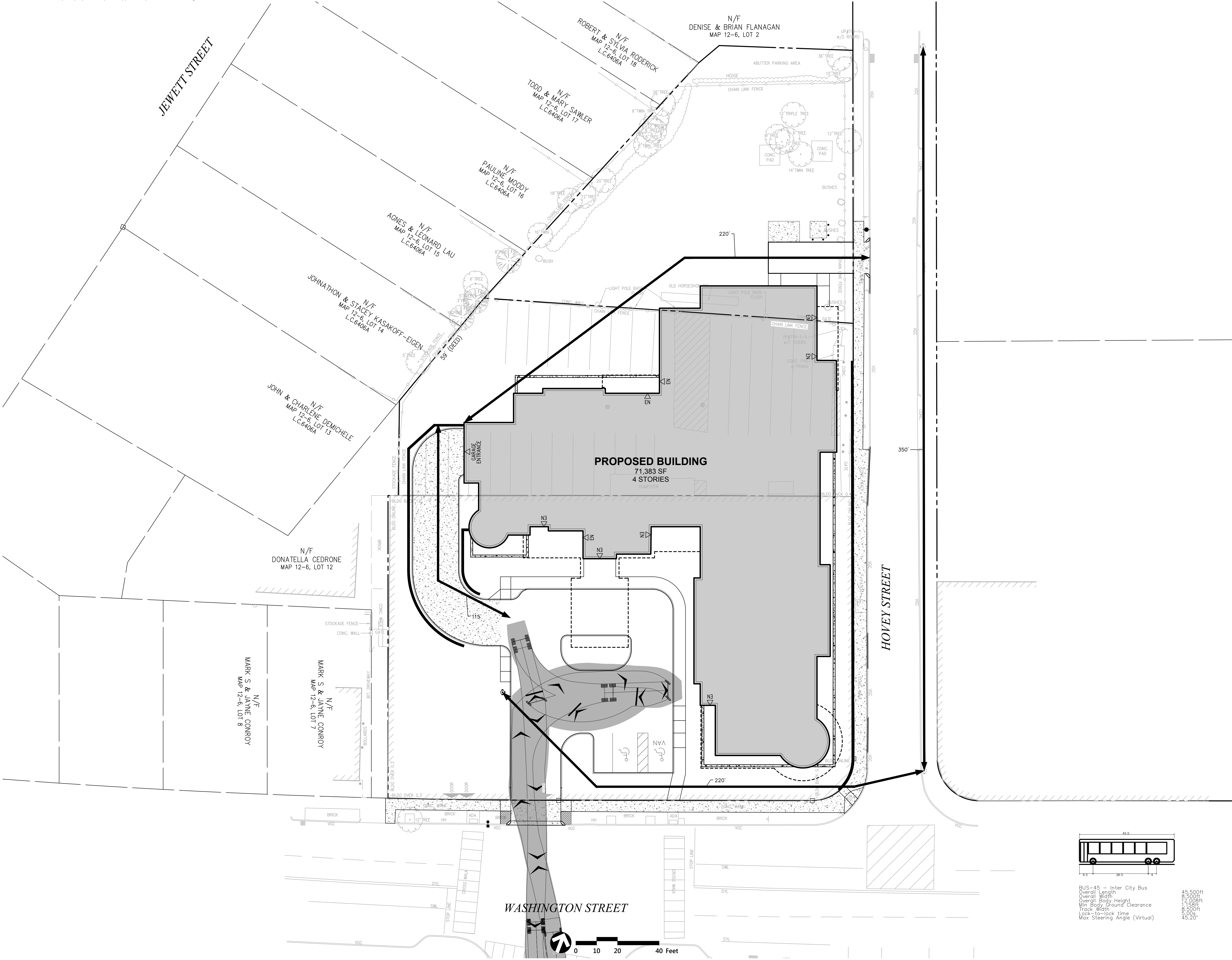
Drawing Number

C-9.2

Sheet 10 of 11

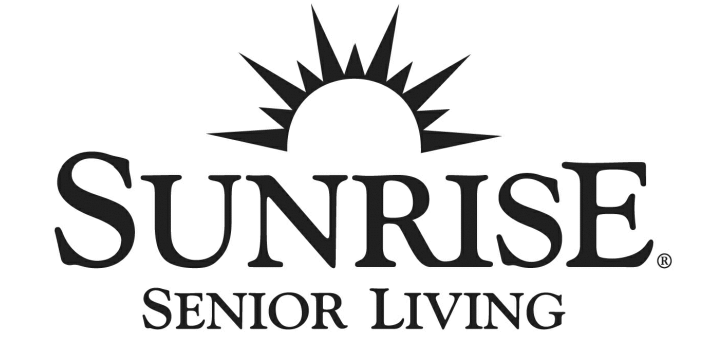
Project Number
13677.00

COMMONWEALTH OF MASSACHUSETTS
CLERK OF THE COURT
JULIA R. QUINN
No. 42008
REGISTERED PROFESSIONAL ENGINEER
3-3-17




vhb.com

101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Sunrise of Newton
431 Washington St
Newton, Massachusetts

No.	Revision	Date	Appvd.

Designed by **WNNM** Checked by **CRQ**

Issued for **Special Permit Application** March 3, 2017

Not Approved for Construction

Drawing Title


Fire Access Plan

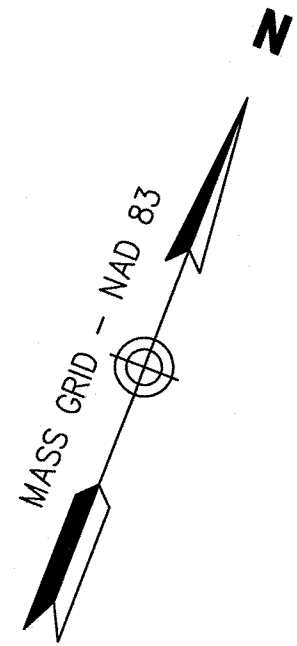
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C-10

Sheet **11** of **11**

Project Number
13677.00





Record Owner

PARCEL I
431 WASHINGTON ST LLC
431 WASHINGTON STREET
NEWTON, MASS.
MAP 12 BLOCK 6 LOT 5
BOOK 50316, PAGE 482

PARCEL II
431 WASHINGTON ST LLC
29 HOVEY ST
NEWTON, MASS.
MAP 12 BLOCK 6 LOT 4
BOOK 50316, PAGE 482

PARCEL III
431 WASHINGTON ST LLC
HOVEY STREET
NEWTON, MASS.
MAP 12 BLOCK 6 LOT 3
BOOK 50316, PAGE 482

Plan References

REGISTRY OF DEEDS

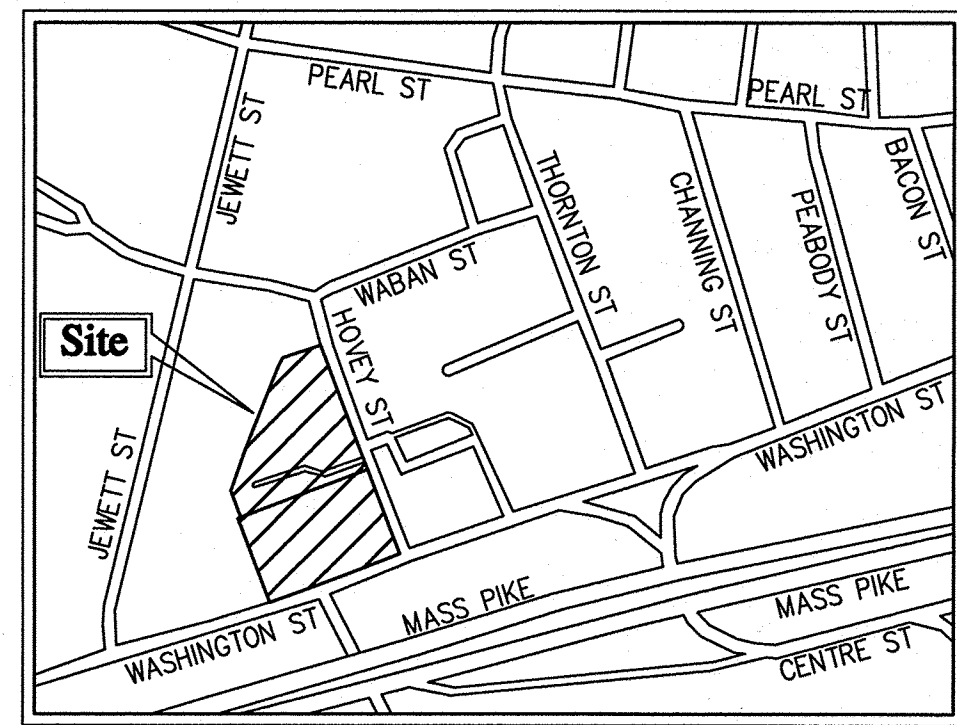
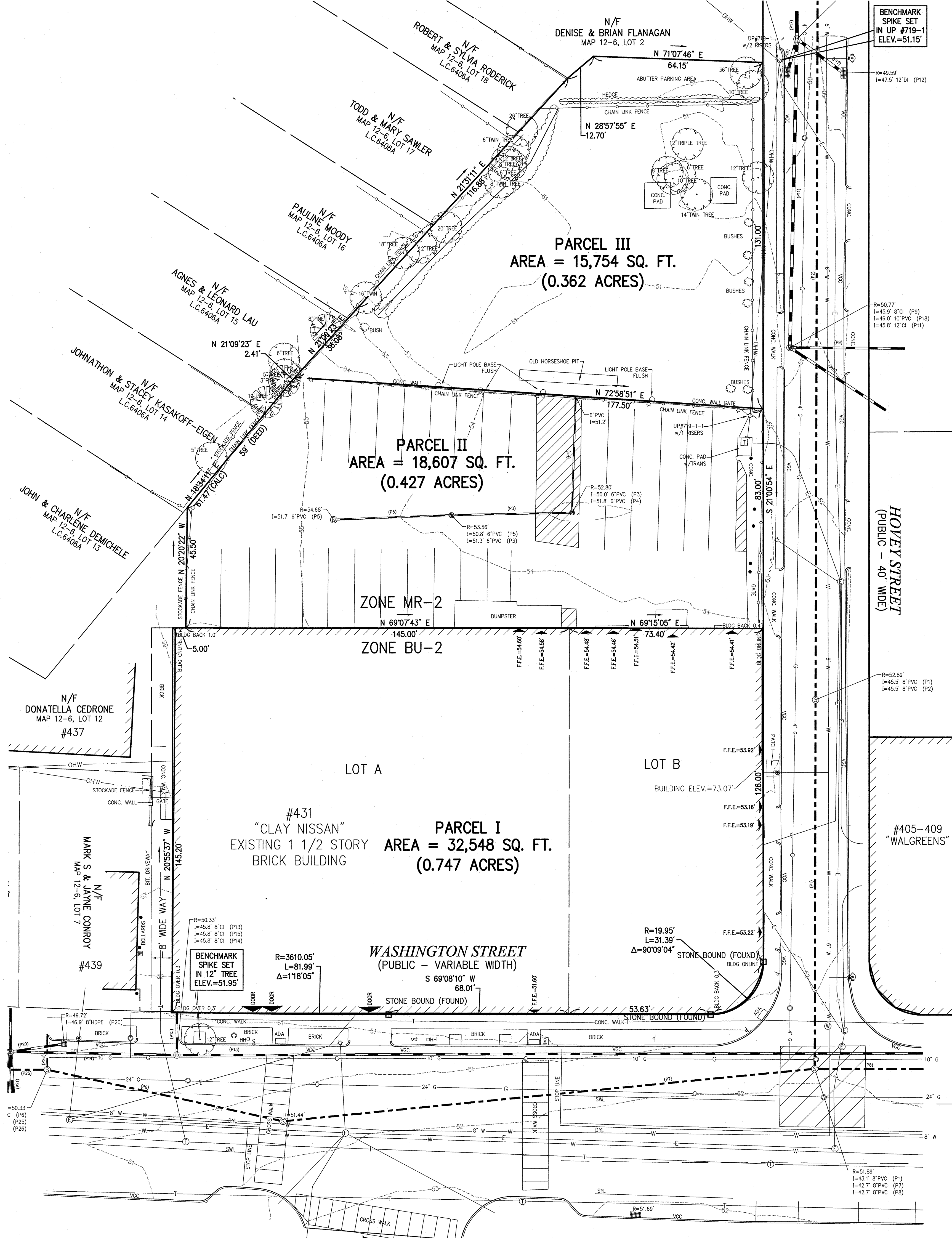
BOOK 4827, PAGE 105
BOOK 9467, PAGE 475
BOOK 14829, PAGE 257
BOOK 22769, PAGE 506
BOOK 34079, PAGE 25
BOOK 34162, PAGE 362
BOOK 50316, PAGE 482
PLAN BOOK 135, PAGE 24
PLAN BOOK 4321, PAGE END
PLAN BOOK 4820, PAGE END
PLAN BOOK 4954, PAGE END
PLAN 1487, PLAN YEAR 1984
PLAN 332, PLAN YEAR 1986
PLAN 332, PLAN YEAR 1986

LAND COURT
LC6406A

General Notes

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN SEPTEMBER, 2016 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN SEPTEMBER, 2016.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0552E, EFFECTIVE DATE JUNE 4, 2010.
- THE PARCEL 1 LIES WITHIN BUSINESS ZONE 2 (BU-2) AND PARCELS 2 & 3 LIE WITHIN THE MULTI-RESIDENCE 2 DISTRICT (MR-2) AS SHOWN ON THE ONLINE "ZONING CITY OF NEWTON, MASSACHUSETTS" MAP DATED DECEMBER 11, 2015.

20 0 20 40
SCALE IN FEET



Locus Map
(NOT TO SCALE)

Legend

- ① DRAIN MANHOLE
- ② CATCH BASIN
- ③ SEWER MANHOLE
- ④ ELECTRIC MANHOLE
- ⑤ TELEPHONE MANHOLE
- ⑥ MANHOLE
- ⑦ WATER GATE
- ⑧ FIRE HYDRANT
- ⑨ GAS GATE
- ⑩ BOLLARD w/LIGHT
- ⑪ STREET SIGN
- ⑫ LIGHT POLE
- ⑬ UTILITY POLE
- ⑭ GUY POLE
- ⑮ GUY WIRE
- ⑯ MONITORING WELL
- ⑰ FLOOD LIGHT
- ⑱ WELL
- ⑲ MARSH
- ⑳ F.F.E.=45.27
- ㉑ FINISHED FLOOR ELEVATION
- ㉒ CNO COULD NOT OPEN
- ㉓ NPV NO PIPES VISIBLE
- ㉔ DYL DOUBLE YELLOW LINE
- ㉕ DWL DASHED WHITE LINE
- ㉖ SYL SINGLE WHITE LINE
- ㉗ LSA LANDSCAPED AREA
- ㉘ CC CONCRETE CURB
- ㉙ VCE VERTICAL GRANITE CURB
- ㉚ SCE SLOPED GRANITE EDGE
- ㉛ BB BITUMINOUS BERM
- ㉜ BC BITUMINOUS CURB
- ㉝ G.R. GUARD RAIL
- ㉞ C.L.F. CHAIN LINK FENCE
- ㉟ D.L. DRAINAGE LINE
- ㊱ S.L. SEWER LINE
- ㊲ O.H.W. OVERHEAD WIRE
- ㊳ E UNDERGROUND ELECTRIC
- ㊴ T TELEPHONE LINE
- ㊵ G GAS LINE
- ㊶ W WATER LINE
- ㊷ S.W. STONE WALL
- ㊸ T.L. TREE LINE
- ㊹ 100' BZ 100-FT BUFFER ZONE
- ㊺ 100' RA 100-FT RIVER FRONT AREA
- ㊻ 200' RA 200-FT RIVER FRONT AREA
- ㊼ L.M.A.H. LIMIT MEAN ANNUAL HIGH WATER
- ㊽ L.O.B. LIMIT OF BANK
- ㊾ W.F.T. 100' VEGETATED WETLAND BOUNDARY

Clay Nissan

Washington & Hovey Street
Newton, Massachusetts

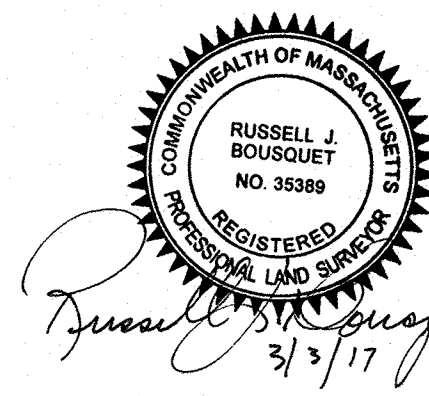
No.	Revision	Date	Appr.

Designed by _____ Checked by _____
Issued for _____ Date _____

October 12, 2016

Drawing Title
Existing Conditions
Plan of Land

Drawing Number



Sv-1

Sheet 1 of 1

Project Number
13677.00